



WEST VALLEY

specific plan

ADOPTED MAY 9, 2018

CITY COUNCIL RESOLUTIONS NO. 18-20 AND 18-21

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CITY OF WALNUT

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1

Introduction

1

Introduction

INTRODUCTION

West Valley is a neighborhood in the City of Walnut. Located in a beautiful foothill setting, Walnut offers an array of amenities. This area of Walnut is distinct in that it contains the only commercial properties not part of a suburban shopping center. This commercial corridor is comprised of a mix of auto, office, and underutilized uses and lots. Many business storefronts show signs of age, and reinvestment has been lacking. Because West Valley is a gateway into Walnut, the City's interest is in presenting an inviting environment reflective of overall community quality and in ensuring all properties in this community are used to their potential.

In conjunction with a comprehensive General Plan Update (GPU) initiated in 2016, the City began work on the West Valley Specific Plan (WVSP) with a goal of fostering a thriving multi-use district with neighborhood retail, commercial services and offices, unique dining destinations, a range of housing options, accessible transportation choices, public spaces, and an attractive streetscape.

The WVSP applies to an approximately three-quarter-mile stretch of Valley Boulevard at the southwest corner of the City, from Camino de Teodoro to the channel of Lemon Creek (see Figures 1-1 and 1-2). The WVSP aims to be truly transformative, with development standards and design guidelines that support this vision with clear action steps to achieve these stated objectives.

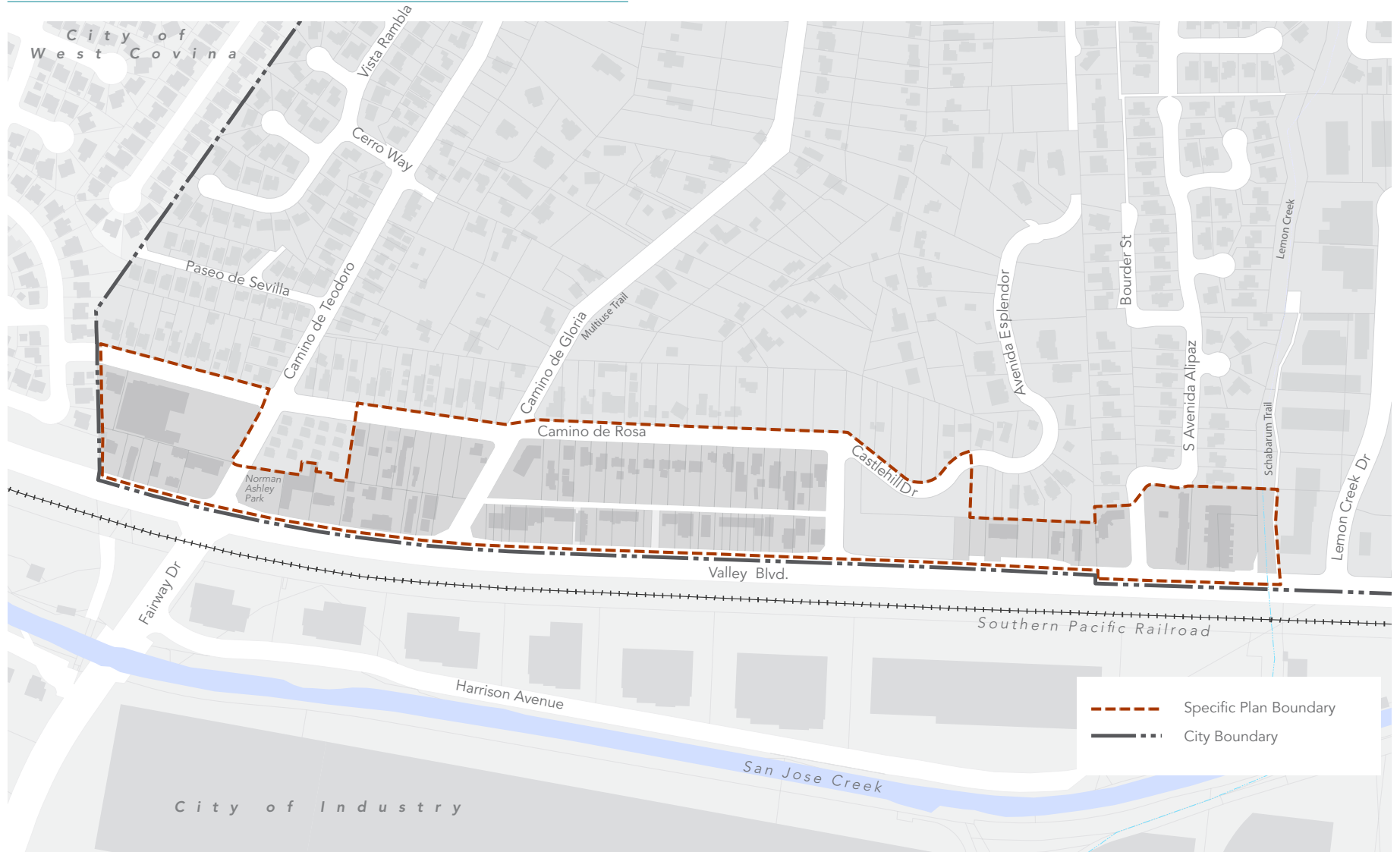


Office building in the West Valley Boulevard area

Figure 1-1: Specific Plan Location



Figure 1-2: Specific Plan Boundary



Source: MIG, City of Walnut, Los Angeles County Assessor 2016



Broader housing options



Residential and commercial options



Public spaces



Attractive streetscape

1.1 PURPOSE

The WWSP provides a long-term strategy for the reinvention of southwest Walnut. The plan area has the potential to become an attractive place for new and existing businesses to flourish, accompanied by new residential developments and locally serving commercial and retail opportunities in an inviting, pedestrian-friendly environment.

The WWSP provides the framework to guide public and private investment in the Plan Area. Development activity will be stimulated and influenced by a range of strategies including, but not limited to:

- Development standards, design guidelines, and other regulatory tools and metrics
- Public infrastructure improvements
- A comprehensive set of policy, physical, and programmatic implementation actions

These elements will serve as an impetus and guide for desired change. This document represents the community's cohesive vision and provides solutions to transform the area into a locally serving, vibrant, pedestrian-oriented, and interconnected place.

1.2 SPECIFIC PLAN PROCESS

The WVSP resulted from a community-based process that began in early 2016.

Stakeholders, business and property owners, residents, elected and appointed officials, and public agency representatives were engaged through stakeholder interviews, grassroots outreach, community intercept events, surveys, and community workshops.

Early in the process, the stakeholder interviews were used to assess existing conditions, define issues, and explore solutions. A community-driven grassroots outreach process and community intercept events were used to solicit input from residents from a diverse cross section. Participants voiced aspirations for the future of Walnut in general and West Valley in particular. Feedback from community members was used to craft the vision and overarching goals for the WVSP, confirm preferred land uses, identify transformative strategies, and shape the standards and guidelines that form the basis of this Specific Plan.



West Valley community workshop held on January 23, 2017

WHAT IS A SPECIFIC PLAN?

A Specific Plan is a zoning and development tool that implements the General Plan. It establishes a link between General Plan policies and individual development proposals in a defined area. State law requires that Specific Plans be consistent with the General Plan. The WVSP is a direct implementation measure of the Walnut General Plan, which identifies West Valley Boulevard as a target area for mixed-use development.

1.3 HOW TO USE THIS PLAN

To navigate the main components of the document, the following steps are a quick way to understand the different sections of the plan.

STEP 1: FIND OUT WHAT LAND USE DISTRICT APPLIES TO YOUR PROJECT

Locate your property on Figure 4-1 (Land Use Plan) of Chapter 4 (Development Plan) to determine which land use district applies. Review the narrative description for that particular land use to determine whether your proposed project complies with the intent of the Specific Plan for that specific land use district. Descriptions for each land use district can be found in Chapter 4 Section 4.1 (Land Use Plan). Use the Land Use Table (Table 5-1: Land Uses and Permit Requirements) to determine if your project is allowed in a particular land use district.

STEP 2: REVIEW THE DEVELOPMENT PLAN, TABLES, AND MAPS

If your proposed use is allowed, refer to the entirety of Chapter 5 (Land Use and Development Standards) to determine the appropriate development standards that apply to your project.

STEP 3: REVIEW THE DESIGN GUIDELINES

Next, Chapter 6 (Design Guidelines) to identify the design features and qualities to be used for architecture, materials, and landscaping.

STEP 4: SPEAK WITH A CITY PLANNER

The City encourages you to speak with a Planning Department staff member for any questions about how the Specific Plan applies to your project or the application process.

1.4 REQUIREMENTS

AUTHORITY

The WVSP is enacted pursuant to Sections 65450 through 65457 of the California Government Code, which authorizes local governments to prepare and adopt specific plans. The Specific Plan, adopted by the City Council by ordinance, establishes the zoning regulations for land use and development within the WVSP area.

RELATIONSHIP TO OTHER PLANS

As authorized by the California Government Code, a specific plan is an instrument for guiding, coordinating, and regulating the development of property within a defined area.

A specific plan is a special set of development standards, including a supplemental map, that is applicable to a geographical area within the city.

General Plan

The General Plan designates the WVSP area as West Valley Mixed Use. The designation directs the City to create a specific plan for the general purpose

of expanding multi-family residential and commercial development opportunities within a mixed-use setting. The Specific Plan's role is to provide a neighborhood-specific approach to implement the City's housing, community design, and economic development policies. The WVSP is consistent with the General Plan for the area, including the development intensity limits. Projects proposed within the Specific Plan area must demonstrate consistency with General Plan policies.

Zoning Code

The Specific Plan replaces standard zoning districts. The land use regulations and development standards in this Specific Plan supersede those of Zoning Code regulations (Chapter 25 of the Walnut Municipal Code). Chapter 7 (Implementation Action Plan) directs the City to make the necessary updates to the Zoning Code to eliminate inconsistencies and confusion. Where there is conflict between the provisions of this Specific Plan and the Zoning Code, the Specific Plan shall prevail. However, where the Specific Plan is silent on general site development regulations (e.g., landscaping, signage) or special use regulations (e.g., density bonuses), the applicable requirements of the Zoning Code shall govern. An amendment to the Zoning Map will also be required to reflect the WVSP districts.

1.5 CONTENTS

Each Chapter described in Document Overview collectively outlines the required topics that must be addressed by a Specific Plan pursuant to Government Code Sections 65450–65457.

CHAPTER 1: INTRODUCTION

Chapter 1 presents the purpose of the Plan and provides background information to orient the users of the WVSP.

CHAPTER 2: CONTEXT FOR PLANNING

Chapter 2 presents the planning context and issues prompting creation of the WVSP.

CHAPTER 3: VISION

Chapter 3 presents the community-driven vision and framework that guided preparation of the WVSP.

CHAPTER 4: DEVELOPMENT PLAN

Chapter 4 defines the components that will contribute to the orderly transformation of the West Valley area by specifying the character of the zoning districts, detailing the physical improvements to the public right-of-way required to establish a robust local mobility network, and describing the infrastructure (water, storm drainage, sanitary sewer, and power lines) support needed.

CHAPTER 5: LAND USE AND DEVELOPMENT STANDARDS

Chapter 5 provides the regulatory framework for allowed land uses, new development, renovations, and ongoing maintenance of properties within the WVSP.

CHAPTER 6: DESIGN GUIDELINES

Chapter 6 establishes the guidelines that will perpetuate excellence in design and quality of craftsmanship to enhance the Plan area environment in both the public and private realms.

CHAPTER 7: IMPLEMENTATION

The final Chapter sets forth major actions necessary to implement the vision, strategies, and concepts of the WVSP. It includes an Implementation Action Plan with specific action steps, funding sources, and timelines to implement incremental change.

APPENDIX A: GENERAL PLAN CONSISTENCY

Appendix A presents information regarding consistency of the WVSP to the Walnut General Plan.

APPENDIX B: GLOSSARY

Appendix B provides a glossary of specific terms used in the WVSP to describe development standards and land uses.



2

Context for Planning

2

Context for Planning

INTRODUCTION

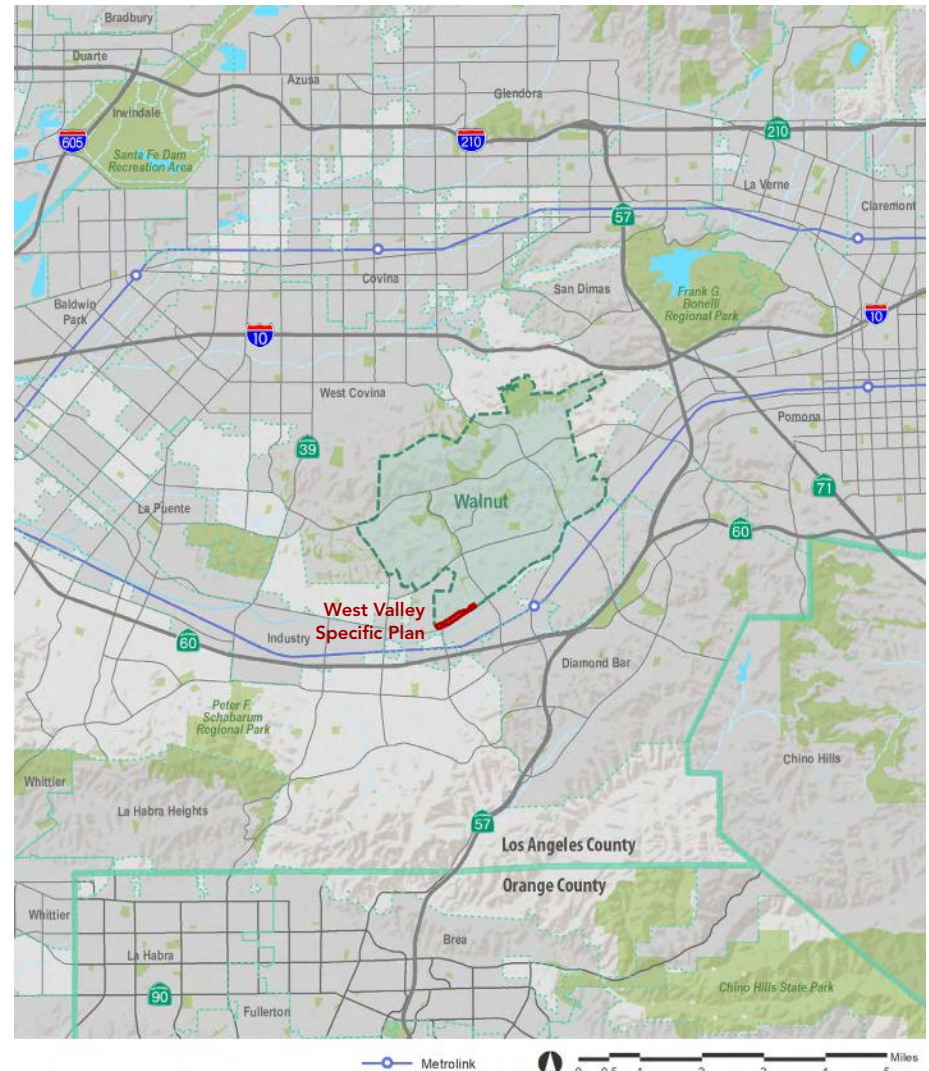
The WVSP is written to respond to the challenges and opportunities influenced by surrounding geography, physical conditions, and infrastructure.

2.1 REGIONAL AND LOCAL SETTING

The WVSP area consists of five blocks fronting Valley Boulevard at the southwest corner of Walnut. It is bounded by the hillside residential neighborhoods of the City of West Covina to the west. To the southeast, a narrow strip of Los Angeles County located on Valley Boulevard separates Walnut from the City of Industry. To the east are properties that support light industrial businesses in a business park setting, with a few fast-food and light commercial establishments.

2.2 HISTORIC SETTING

Valley Boulevard originally was named Pomona Boulevard. Boyd Avenue, Gill Avenue, Valley View Drive, and Mountain View Drive were the former names of Camino de Rosa, Castlehill Drive, Camino de Gloria, and Camino de Teodoro, respectively. The alley that runs from Camino de Gloria to Castlehill Drive has appeared in Tract Map No. 8074 dated 1925. The tract map showed the block of lots on Valley Boulevard adjacent to the alley as being 25 feet wide by 115 feet in length, while the other lots are generally 50 feet wide and 195 feet long. Furthermore, local streets had 60-foot-wide dimensions. Until the late 1960s, the West Valley area was the City's only commercial area. It grew around some of the oldest neighborhoods within the City located behind Camino de Rosa. However, most buildings in that area were built after World War II with the intent to establish a "Main Street" small town look of active storefronts and street life. As the City's rural character gave way to a suburban form, construction of several commercial shopping centers at key intersections throughout the City displaced West Valley in commercial importance.

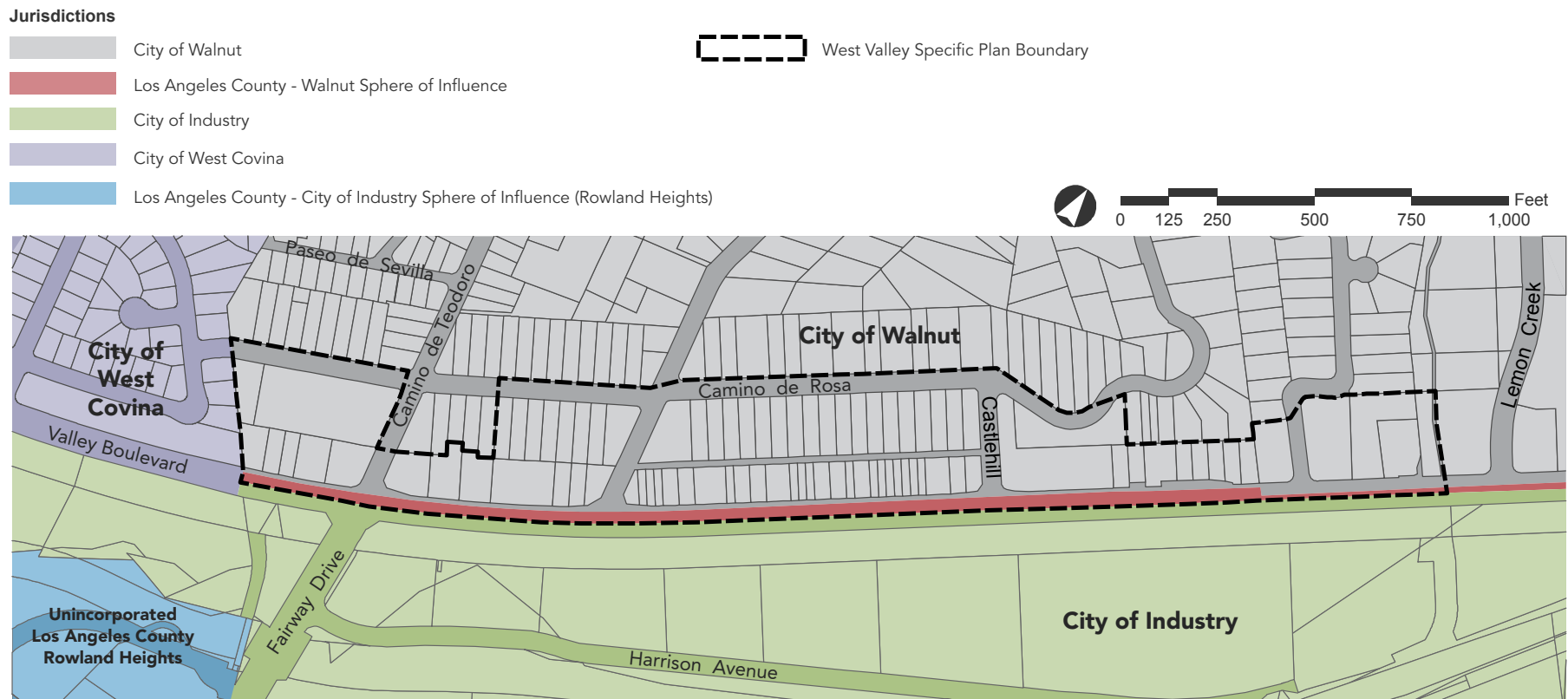


Source: MIG, City of Walnut, Los Angeles County

2.3 JURISDICTIONS

The Specific Plan is located in the City of Walnut, adjacent to the cities of West Covina and Industry. A portion of the Specific Plan, including the west-bound lanes of Valley Boulevard, is within Los Angeles County and is a part of Walnut's Sphere of Influence. Valley Boulevard east-bound lanes are under the jurisdiction of the City of Industry. See Figure 2-1 (Jurisdictional Boundaries).

Figure 2-1: Jurisdictional Boundaries



Source: MIG, City of Walnut, and Los Angeles County Assessor, 2016.

Figure 2-2: 2016 Conditions



Automobile repair shop



Single-family residential



Automobile repair



Medium-density townhomes

2.4 LAND USE AND URBAN CHARACTER

The WVSP boundary encompasses 84 parcels totaling 20.1 acres that front 3,700 feet of West Valley Boulevard. As of 2016, approximately 16% of the area was vacant land, but these lots are small and non-contiguous. The median lot size is approximately 9,340 square feet, and the only parcel more than one acre in size is occupied by the First Southern Baptist Church of Walnut.

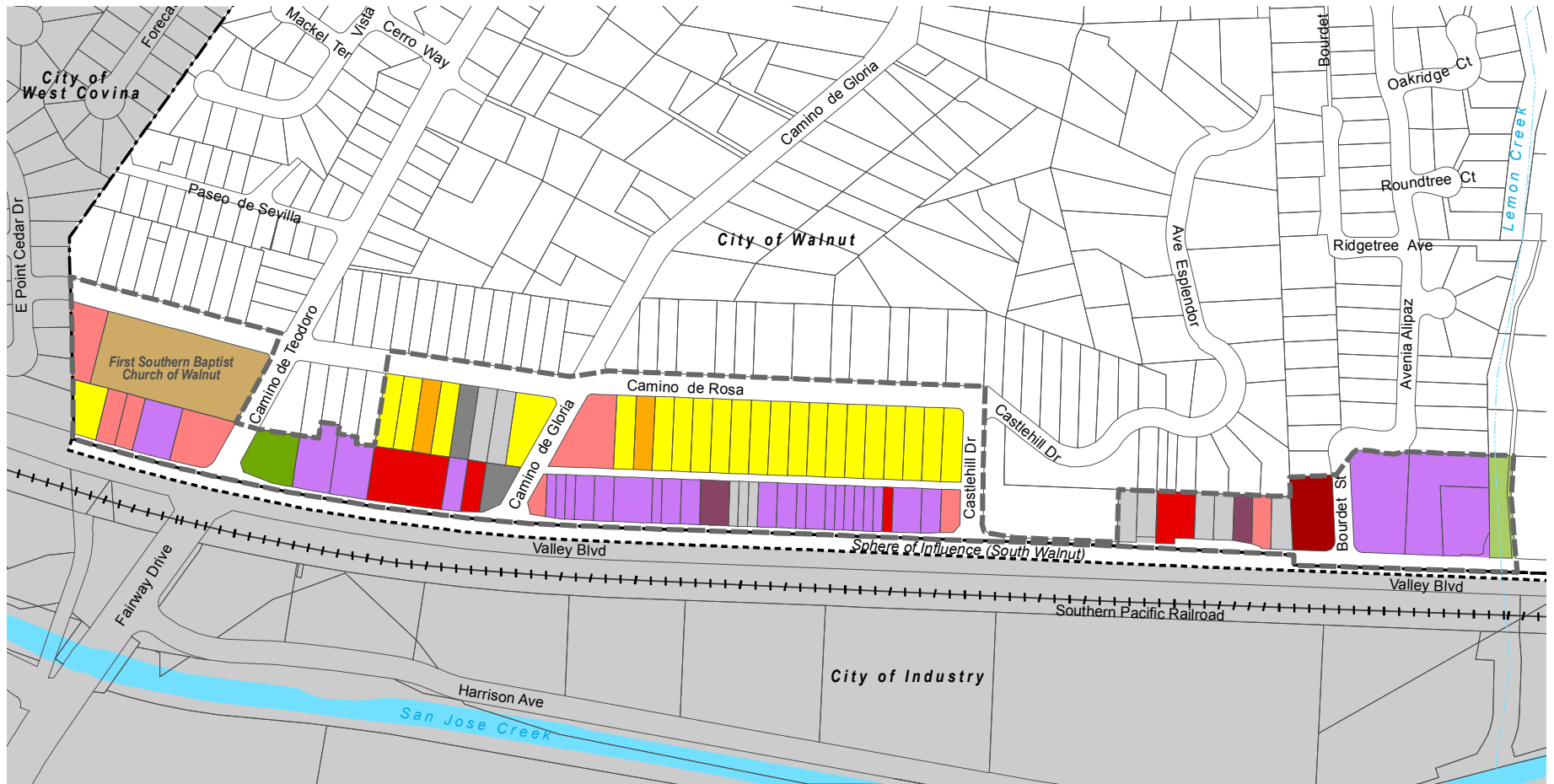
LAND USE (2016)

Land uses are diverse, made up of single-family residences, retail, restaurants, parks, and religious institutions. Auto repair services represent the most common land use, covering 25% of the land area. Single-family residences occupy 24.2%. Camino de Rosa forms the northern edge, and located beyond this edge are some of the City's oldest single-family residential neighborhoods, many of which have retained a rural character. To the south is the Union Pacific/Metrolink railroad right-of-way located within the City of Industry.

URBAN CHARACTER

The urban form is characterized by low-slung one-story auto-oriented uses facing Valley Boulevard. Due to the auto-oriented nature of most uses in the area, the building facades of the one-story buildings have wide bay doors and loading docks that face the street. Many buildings cannot be accessed without first entering a parking area. Landscaping on these properties is underutilized. The combination of uses and visual character gives the

Figure 2-3: Land Use (2016)



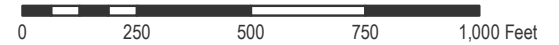
2016 Land Uses (Number of Parcels)

 Single Family Residence (22)	 Auto Repair/Services (28)
 Duplex or Two Units (2)	 Neighborhood Park (1)
 General Commercial (4)	 Open Space (Lemon Creek Trail) (1)
 Shopping Center (1)	 Religious Institution (1)
 Restaurant (2)	 Parking Lot (Commercial Use Property) (2)
 Office (8)	 Vacant (10)

Boundaries

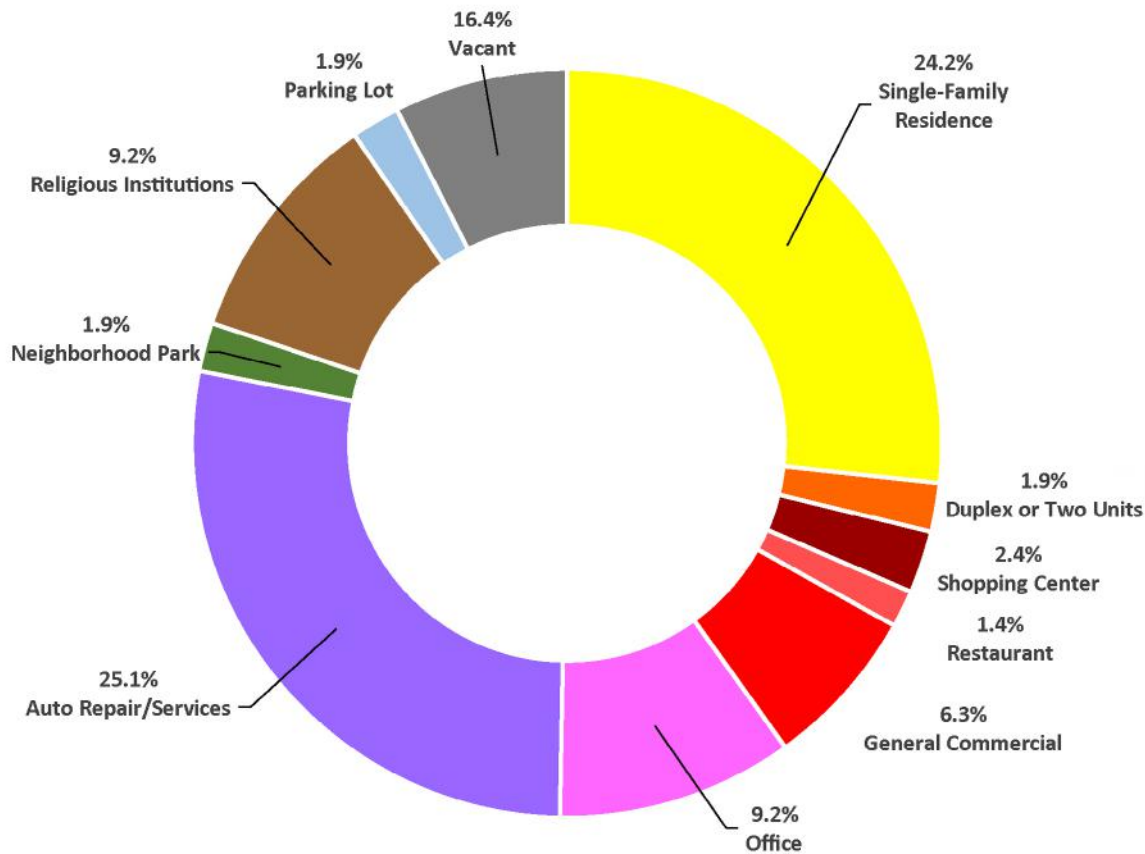
 Specific Plan Boundary
 Walnut City Boundary
 Walnut Sphere of Influence

Source: MIG and Los Angeles County Assessor, 2016.



LAND USES (2016)

West Valley is distinguished among other Walnut neighborhoods for having multiple different uses within a relatively small area. Auto repair shops and services stand out as the predominant land uses.



Source: MIG, City of Walnut, Los Angeles County Assessor

area an aging industrial look even though the area is zoned for commercial uses. Also, vacant properties are scattered, which limits opportunities to consolidate parcels to achieve more cohesive projects.

The West Valley area has unique characteristics. The alley (located midblock) is used along its 1,120-foot length as a loading area for the commercial businesses fronting Valley Boulevard. North of the alley are single-family residences that have main driveway access from the alley. The Lemon Creek trailhead defines the eastern boundary, and the western gateway is marked by a City monument sign. Norman Ashley Park is the only park within the West Valley boundary, a 0.38-acre space with a half basketball court, playground, and picnic tables. Figure 2-1 (Land Uses 2016) shows the distribution of uses, and Figure 2-4 (West Valley Aerial View) depicts the overview of developments of the surrounding areas.

2.5 TRANSPORTATION AND MOBILITY

Without bicycle lanes and pedestrian-friendly design and amenities, the area creates a poor active transportation experience. Bi-directional bus service on Valley Boulevard (provided by Foothill Transit Line 194) stops at three intersections, although only one of the stops is completely sheltered. The City's boundary does not include the travel lanes of Valley Boulevard, but does include the adjacent sidewalks on the north side of Valley Boulevard.

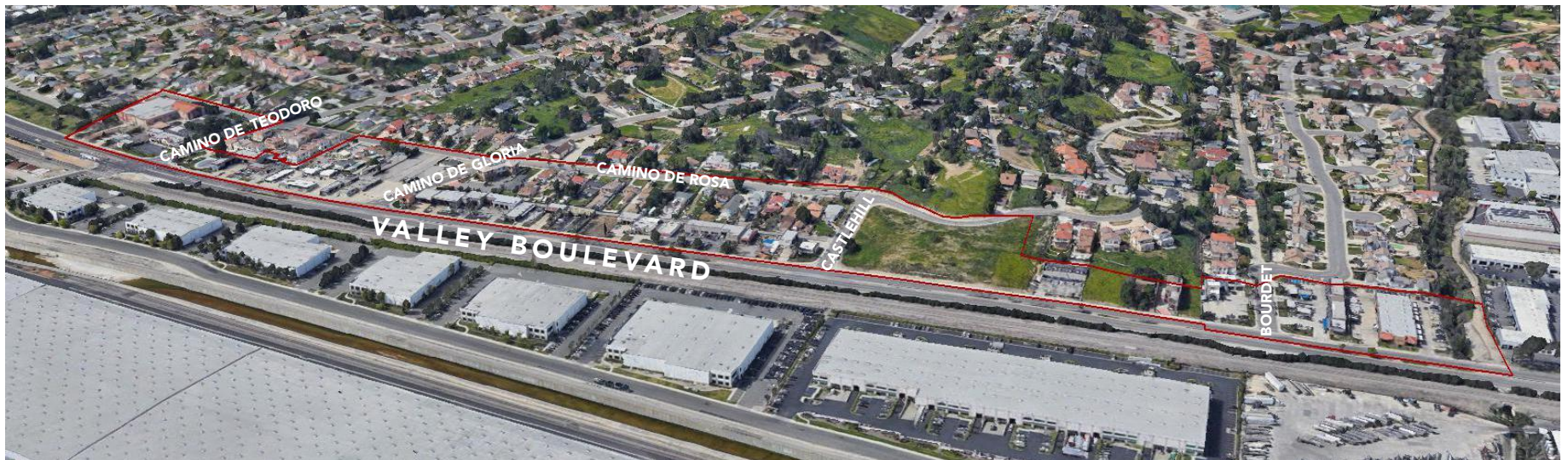
Valley Boulevard defines much of the vehicular circulation of the area, including that of trucks. Truck-intensive uses in the City of Industry and the

freight trains that run along the Union and Southern Pacific Railroads line reflect the industrial nature of properties to the south. The Alameda Corridor East Project (ACE) that separates freight rail and road traffic is expected to improve on-street travel.

Four local two-lane roads define the five-block area: Camino de Teodoro, Camino de Gloria, Castlehill Drive, and Bourdet Street. Camino de Teodoro becomes Fairway Drive south of Valley Boulevard and connects to the State Route 60 (SR-60) freeway on-ramps. Completion of the ACE project could also direct more traffic onto Camino de Teodoro/Fairway Drive. Left-turns are possible for all roads. However, only Camino de Teodoro is protected with a traffic light. The two-lane Camino de Rosa (which

becomes Castlehill Drive) forms the northern boundary.

Figure 2-4: West Valley Aerial View



Source: MIG, Google Earth



3

Vision

3

Vision

INTRODUCTION

The WVSP Vision and Transformative Strategies were crafted based on input received via stakeholder interviews, grassroots outreach, and community intercept surveys—which were held at multiple locations throughout the City. Residents, business owners, property owners, City staff, and elected officials—all helped shape and refine the vision.

3.1 VISION AND TRANSFORMATIVE STRATEGIES

WEST VALLEY SPECIFIC PLAN VISION

West Valley is a thriving multi-use gateway into Walnut. The corridor provides neighborhood-supporting retail, commercial services and offices, unique dining destinations, a range of housing options, and accessible transportation choices and public spaces.

TRANSFORMATIVE STRATEGIES

The following transformative strategies offer guidance and a framework to achieve the vision and provide the foundation for the standards, guidelines, and policy direction outlined in subsequent chapters that will direct the future character and design of private development and public improvements. These concepts and tools will work together to transform the physical and economic environment of the plan area.

1. Expand Local Retail, Service, and Office Offerings in a Mixed-Use Setting

The WVSP will allow a diverse mix of uses that integrates locally serving commercial and retail uses, services, casual dining with outdoor seating, quality restaurants, small offices, diversified housing options, and other neighborhood-serving uses.



Mixed-use setting



Broaden housing options



Pedestrian-friendly streetscape

2. Broaden Housing Options

The WVSP will create these opportunities for modern, attractive residential developments that provide new housing in stand-alone, mixed-use, and/or senior housing options. Other housing types can provide opportunities for the younger population—including those who grew up in Walnut—to move back to the City, as well as families who take advantage of the quality schools that Walnut has to offer.

3. Accommodate a Walkable Form

The WVSP seeks to improve the pedestrian environment along Valley Boulevard with active, small-format, ground-floor uses that incorporate accessible building entrances that line the sidewalk, accessible sidewalks and pathways, street canopy trees, street furniture, and pedestrian amenities.

4. Improve Multi-Modal Accessibility, Connectivity, and Safety

The WVSP will improve access along the Valley Boulevard frontage that connects buildings to sidewalks and bus shelters. It will also provide comfortable bus shelters that protect transit riders from the elements. It will accommodate bicycles along Valley Boulevard with bicycle lanes, and require new projects to include convenient bicycle amenities and storage options. It will also seek to maintain efficient vehicular travel along Valley Boulevard with redesigned bus stops/hubs at strategic locations throughout the WVSP.



Public spaces

5. Improve Physical Character

The WVSP will improve the area's aesthetic appeal with the gradual replacement of automotive service uses and blighted properties with new developments that include attractive architectural styles, landscaping, public art, and welcoming gateway elements, with pedestrian-friendly capabilities and unified street furniture and signage. Furthermore, new public and private improvements should advance the visual identity and physical environment, distinguishing this area as the eastbound Valley Boulevard gateway into the City.

6. Integrate Open Space and Community Amenities

The WVSP will integrate plazas and small urban gathering spaces into areas that are well activated by adjacent uses. Accessibility to the trail and trailhead will be provided along Lemon Creek, a segment of the Schabarum-Skyline Trail network.



Integrate open space and community amenities

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4

Development Plan

4

Development Plan

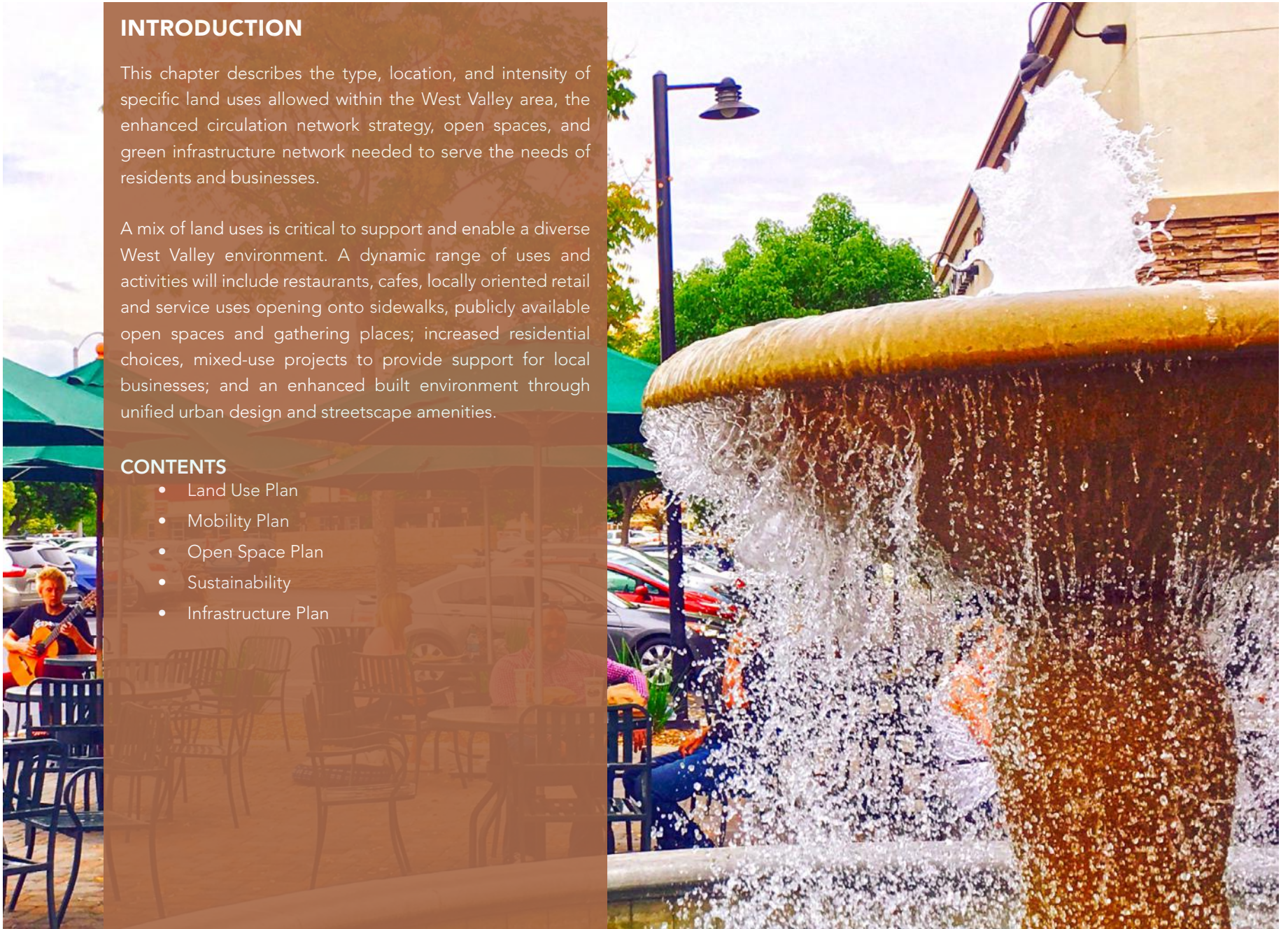
INTRODUCTION

This chapter describes the type, location, and intensity of specific land uses allowed within the West Valley area, the enhanced circulation network strategy, open spaces, and green infrastructure network needed to serve the needs of residents and businesses.

A mix of land uses is critical to support and enable a diverse West Valley environment. A dynamic range of uses and activities will include restaurants, cafes, locally oriented retail and service uses opening onto sidewalks, publicly available open spaces and gathering places; increased residential choices, mixed-use projects to provide support for local businesses; and an enhanced built environment through unified urban design and streetscape amenities.

CONTENTS

- Land Use Plan
- Mobility Plan
- Open Space Plan
- Sustainability
- Infrastructure Plan



4.1 LAND USE PLAN

The WVSP land use designations—unique to properties within the Specific Plan—regulate allowable uses within the plan area. The land use designations, or zones, are:

- WVMU-1: Commercial Node Mixed Use
- WVMU-2: Corridor Mixed Use
- WVMU-3: Transitional Residential
- P/OS: Parks/Open Space

GLOSSARY

Application of terms used in the WVSP are provided in Appendix B (Glossary of Terms).

DEVELOPMENT STANDARDS

All projects within the WVSP are to comply with the development standards set forth in Chapter 5 (Land Use and Development Standards).

Figure 4-1: Land Use Plan



Land Use Plan

- Commercial Node Mixed Use (WVMU-1)
- Corridor Mixed Use (WVMU-2)
- Transitional Residential Mixed Use (WVMU-3)
- Parks/Open Space (P/OS)

Boundaries

- Specific Plan Boundary
- Walnut City Boundary
- Walnut Sphere of Influence

Source: MIG, City of Walnut, and Los Angeles County Assessor, 2016.



COMMERCIAL NODE MIXED USE (WVMU-1)

Purpose

To create distinct mixed-use, commercially focused nodes that support the local economy, complement well-established businesses, and serve surrounding neighborhoods.

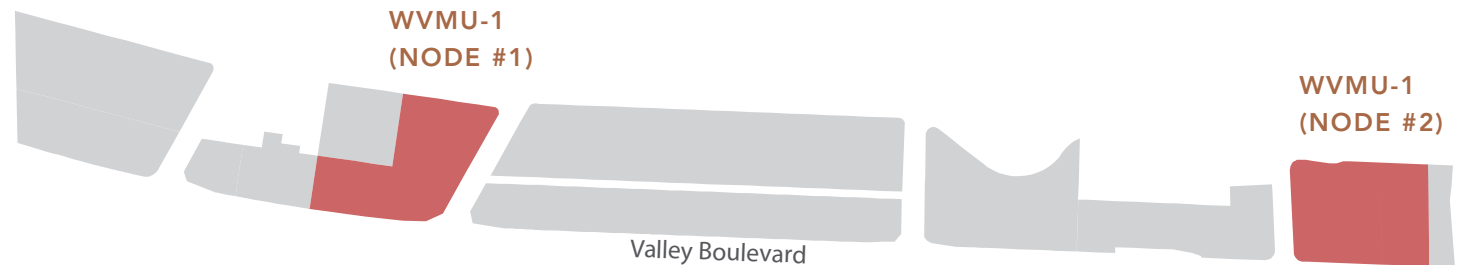
Allowed uses within this node include mixed-use residential and commercial projects with attached or detached residential uses, stand-alone retail, service, office, and dining uses. Residential uses are only allowed in conjunction with a commercial and/or retail use on the same site or within the same building (on upper floors only). Public gathering spaces are required to be integrated into new development.

Commercial Space

To encourage developments to provide commercial space, Section 5-5-Commercial Space (WVMU-1) establishes standards that incentivize commercial developments. The two nodes are planned to accommodate a targeted commercial square footage of approximately 24,000 square feet distributed equally between the two nodes.

Physical Form

The physical form emphasizes two- to three-story vertical and/or horizontal mixed-use building types that accommodate active storefronts, restaurants, cafes, small offices, and residential uses. Commercial uses are required on the ground-floor of mixed-use projects. Active street fronts, with street-facing facades, will provide an attractive street presence for pedestrians.



CORRIDOR MIXED USE (WVMU-2)

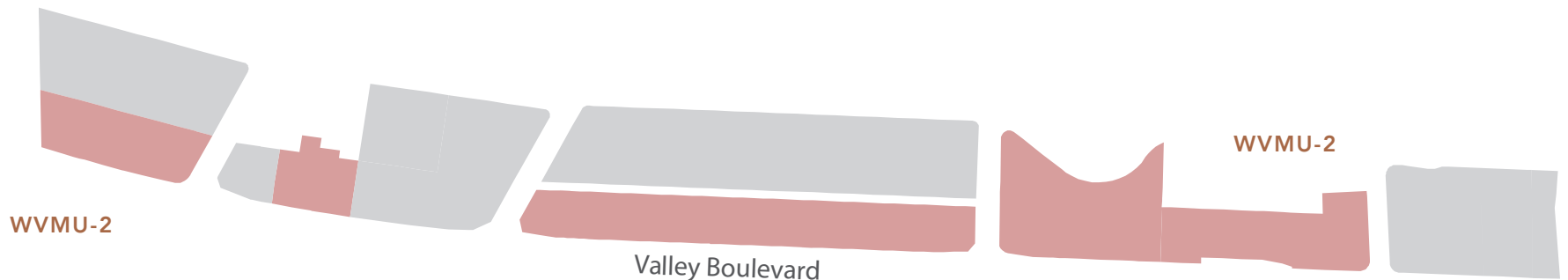
Purpose

WVMU-2 accommodates new residential development types and encourages new retail activity that supports the needs of the local community.

Allowed uses include attached and detached residential developments, mixed-use residential/commercial projects, and stand-alone retail, service, office, and dining. Stand-alone residential uses are allowed. Public gathering spaces are required to be integrated into new development.

Physical Form

The physical form emphasizes two- to three-story developments with a clear relationship to the street and a mix of residential and commercial uses.



TRANSITIONAL RESIDENTIAL MIXED USE (WVMU-3)

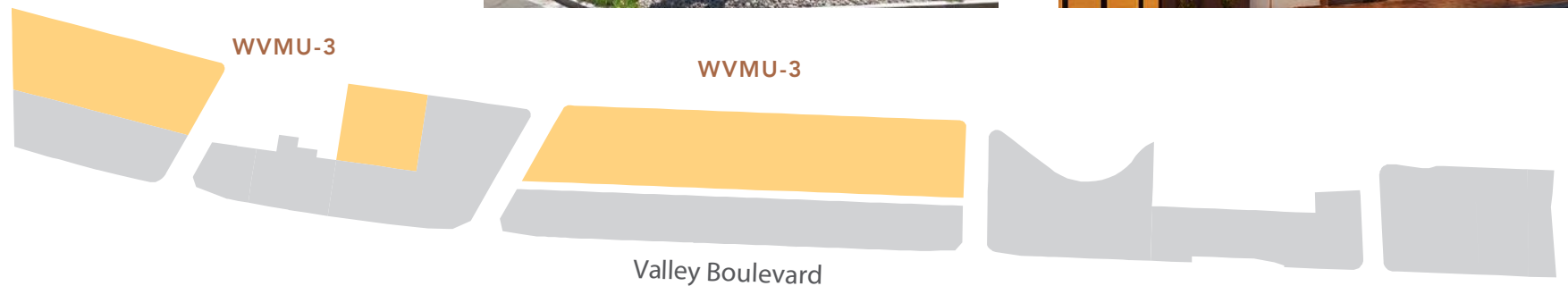
Purpose:

WVMU-3 fosters a compatible mix of new residential development types and provides an environment for small professional office uses to meet the needs of Walnut residents, support the local economy, and provide opportunities for new jobs.

Allowed uses include attached and detached residential developments, live/work units, and office uses. Stand-alone residential uses are allowed. Public gathering spaces are required to be integrated into new developments.

Physical Form:

The physical form consists of developments designed to provide a transition between the single-family residential neighborhoods to the north and more intense uses along Valley Boulevard.



PARKS/OPEN SPACE (P/OS)

Purpose:

To preserve and enhance existing and passive and active recreation uses and provide Walnut residents with enhanced access to the Los Angeles County network of trails within Lemon Creek and Norman Ashley Park. The P/OS designation continues to preserve the public purpose and availability of these two of West Valley's civic destinations.

Physical Form:

The physical form takes the shape of the recreational park and open space assets within the WVSP area.

NORMAN ASHLEY PARK



LEMON CREEK

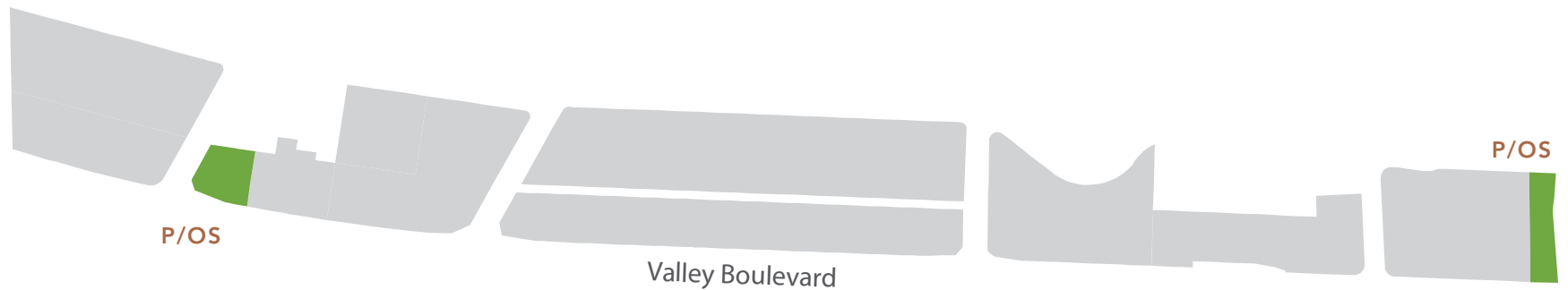


Figure 4-2: Development Concept



DEVELOPMENT CONCEPT

Figure 4-2 (Development Concept) illustrates the planned transformation along Valley Boulevard, showing how a commercial node and housing can be constructed within the WVMU-1, WVMU-2, and

WVMU-3 zones. Figure 4-3 and Figure 4-4 present photo simulations of sites on Camino de Rosa and Valley Boulevard, as these locations are the most promising for catalytic developments. Streetscapes include mature landscaping and outdoor plazas for

public gathering areas.

Figure 4-3: Valley Boulevard Visualization - East (A)



EXISTING CONDITIONS (2016)

Looking northeast on Valley Boulevard, just east of Camino de Gloria



POTENTIAL

Photosimulation of residential development and landscaping (looking northeast)

Valley Boulevard - East

At this vantage point, the western edge of the area's longest block extends approximately 1,200 feet. The block is characterized by a series of aging auto-repair shops and nearly bare streetscape. The WVSP promotes streetscape to create the inviting environment for newer residential and commercial projects.

Figure 4-4: Valley Boulevard Visualization - West (B)



Looking northwest on Valley Boulevard/Camino de Gloria



Photosimulation of commercial center with housing to the rear

Valley Boulevard - West

The site represents the area's largest contiguous buildable underutilized space. The WVSP takes advantage of the setting by focusing revitalization of the overall site with a mixed-use development where it would have an immediate positive impact on the attention of travelers and shoppers on Valley Boulevard.

4.2 MOBILITY PLAN

The Mobility Plan describes the transportation improvements that will enhance accessibility and connections within the WVSP area and to surrounding neighborhoods, as illustrated in Figure 4-5 (Mobility Plan). The WVSP Transformative Strategies call for improvements that accommodate a walkable form and improved multimodal accessibility, connectivity, and safety. The WVSP implements and elaborates on the General Plan Circulation Element framework, incorporating AB 32, SB 375, and the Complete Streets Act, along with its local adaptation of conventional vehicle-oriented transportation regional policies.

Reclaiming that “Main Street” role for the West Valley area requires the presence of human-scaled complete streets infrastructure to bring customers and Walnut residents back into the area. To encourage frequent and longer visits and to add to the variety of open spaces, Walnut will re-energize the largest publicly owned spaces in West Valley—its streets, rights-of-way, alley, sidewalks, bus stops, and trails—with attractive village design standards and opportunities for street life.

MOBILITY OBJECTIVES

The City looks to provide for the efficient and safe multimodal transit of Walnut residents and visitors through West Valley’s regionally connected street, and to use the Lemon Creek trailhead as a multimodal base to access existing and planned trails. The WVSP supports focused improvements

and additional active transportation facilities. As potential new developments emerge, the WVSP identifies strategies to implement new improvements, enhanced crosswalks, pedestrian-friendly street frontage, wider sidewalks, enhanced bus stops, and other improvements.

COMPLETE STREETS

Complete Streets are streets for every mode of transportation. They are designed and operated to enable safe access for all users, including pedestrians, bicyclists, motorists, and transit riders of all ages and abilities. Complete Streets design approaches make it easy to cross the street, walk to shops, and bicycle to work. The WVSP tiers off the General Plan Circulation Element to effectively implement a multi-modal and inclusive transportation system. The streets and rights-of-way in West Valley are intended to be multi-purpose.

ACTIVE TRANSPORTATION

Active Transportation means human-powered methods of transportation, largely pedestrians and bicyclists. With targeted roadway improvements on key streets; expansion of bicycle, pedestrian, and transit facilities; and the addition of new streetscape design elements, the strategies presented in this chapter will help transform the WVSP into a district with a lively street scene.

Bike Facilities

The General Plan Mobility Element designates



Walkable and bikeable complete street network



Shade and seating for pedestrian convenience

Lemon Avenue for a Class II bikeway facility. This is the closest planned bikeway to West Valley. The closest east-west path is the Class II facility on La Puente Road, inaccessible to West Valley due to topography. A Class II bike lane is planned on Valley Boulevard, as illustrated in the Valley Boulevard cross section. Via Lemon Creek, the area's bicycle network is planned to connect to the San Gabriel Greenway, a County Class I or IV facility, to be located south of Valley Boulevard. Bicycle parking and associated facilities will be required for new developments.

Pedestrian Facilities

Through land use regulations, commercial developments with street frontages will be required to create programmable pedestrian spaces (i.e., plazas, paseos, courtyards) to improve the interface between the public and private realms. Developments will:

- Improve pedestrian safety by including pedestrian-oriented lighting, water fountains, and seating areas
- Incorporate a design that remove barriers to pedestrians and disabled persons from adjoining roadways, including through pathways that do not require passing through parking areas, and that are connected to the sidewalk and transit stops

Sidewalks

Paved sidewalks form the core pedestrian facility of



Sidewalk plaza with seating

the WVSP and are intended to make publicly accessible areas navigable on foot.

- Through collaboration with the appropriate jurisdiction, the City will participate in the development of a streetscaping plan along all streets.
- Implement sidewalk width standards: 5-foot-wide sidewalks for local streets and 8-foot-wide sidewalks on Valley Boulevard.
- Locate climate appropriate trees within wells (including grates) along street frontages.
- Locate landscaping strips between buildings and sidewalks to provide a physical green buffer from traffic.
- Ensure all streets have continuous ADA



Placement of Class II bike lane and parking lane

accessible pathways.

- Install benches, bike racks, and refuse receptacles at busier nodes.

Crosswalks and Crossings

Valley Boulevard has a 100-foot right-of-way. Given its nature as a regional travel corridor and the fact that limited destinations of interest lie immediately across Valley Boulevard in the City of Industry, little need exists to have pedestrian crossings from the WVSP. The exceptions are at Fairway Drive to expand access to the planned San Gabriel Greenway trail. At this location, pedestrians and bike crossing improvements are needed. Improvements could include enhanced signal activation for pedestrians and cyclists. Countdown pedestrian timers let

pedestrians know how much time is left to finish crossing, and innovative signals such as in-pavement flashers and High-Intensity Activated Crosswalk (HAWK) signals should be considered when creating or renovating crosswalks and crossings. Also, activation buttons for cyclists can be placed at a level that a cyclist can push while on the bike.

Along Camino de Rosa between Castlehill Drive and Camino de Gloria, crosswalks and crossings should be multi-modal, permitting the travel of both pedestrians and cyclists.

The City will determine the appropriate locations and characteristics (center medians, decorative pavement crosswalks, decorative painted crosswalks, flashing lights, signage, push button call signals) for any crossing types. Considerations will include decorative crosswalks with markings that are thematic and celebrate Walnut's heritage.

Trails

The Walnut General Plan envisions adding more miles to the City's trail inventory, with ambitions to integrate the trail system into wider active transportation planning and to connect it to the expanding regional trail system. The Lemon Creek trailhead can be used to heighten awareness of Walnut's renowned trail system and serve as a starting point to use the San Gabriel Greenway.

The City will establish a clear visual identity for the



Crosswalk with decorative pavers



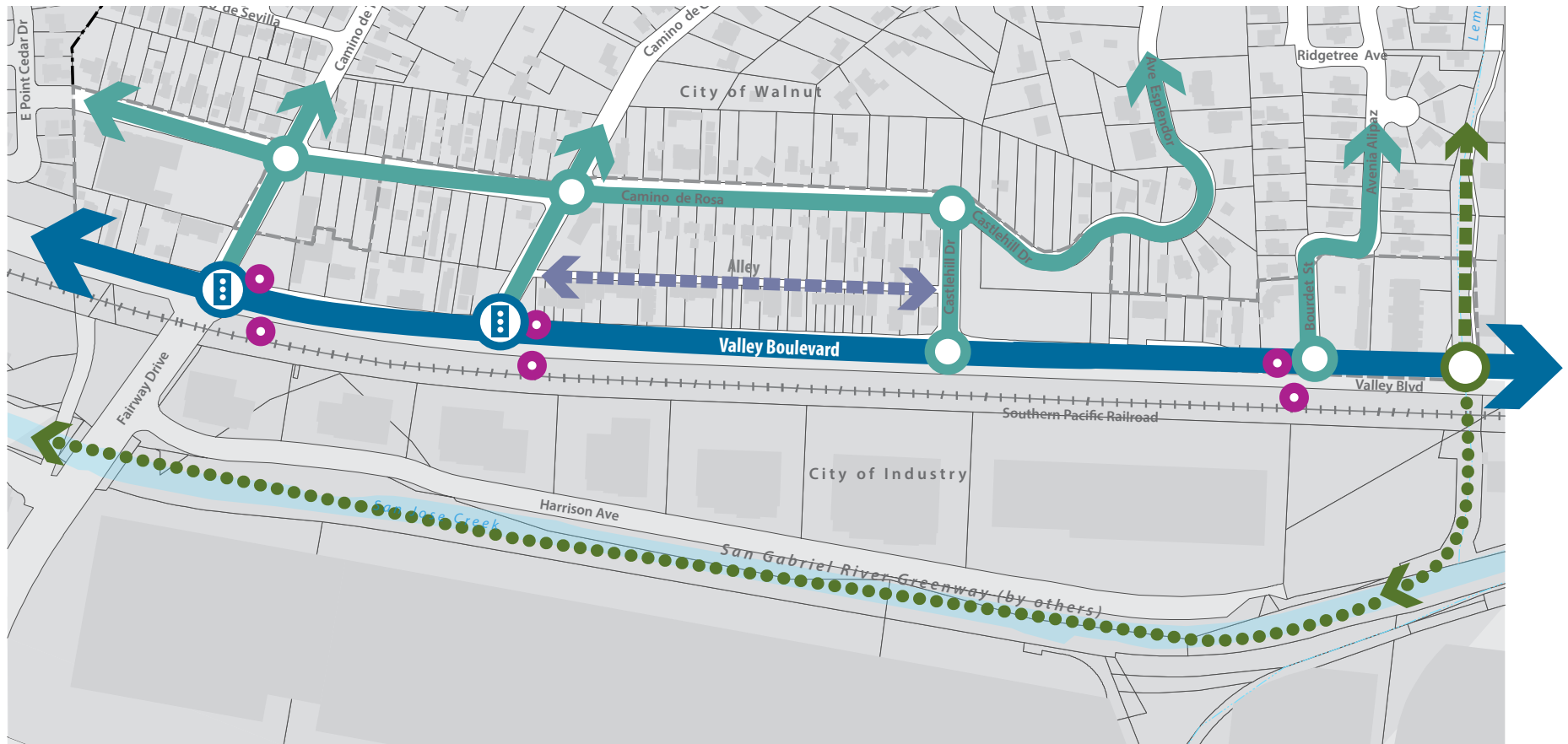
High-visibility crosswalks

Lemon Creek trailhead through gateway signage. Additional facilities and features that could raise the trail's profile include a pocket park, pedestrian-friendly design, bicycle racks, a bus shelter, wayfinding signs, and maps.












Lemon Creek Park signage

Figure 4-5: Mobility Plan

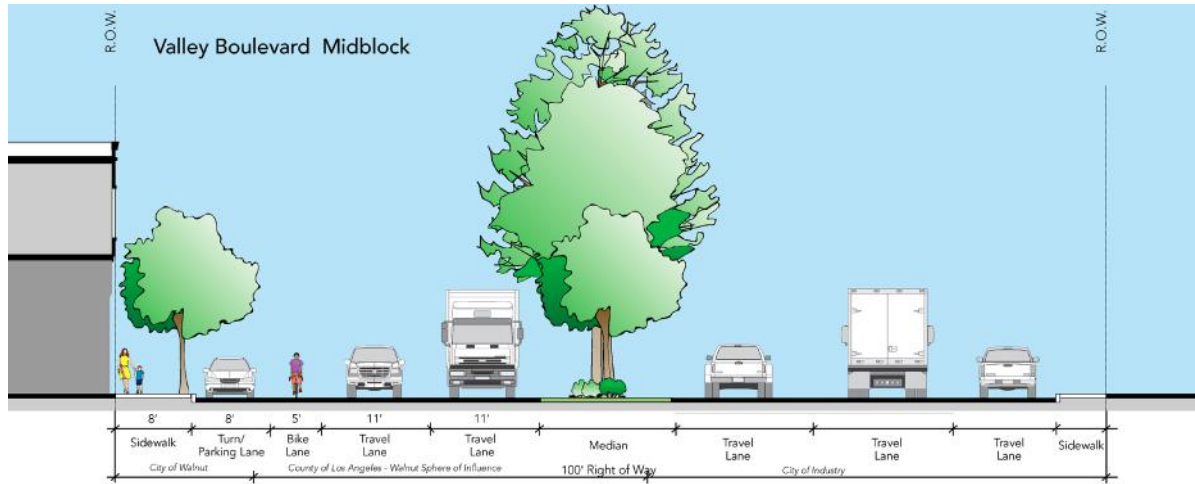


Source: MIG, City of Walnut, and Los Angeles County Assessor, 2016.

Mobility Network

-  Major Arterial
-  Local Street
-  Alley
-  Equestrian/Pedestrian Trail
-  Planned Pedestrian and Bicycle Trail
-  Major Intersection/Signal Light
-  Bus Stop
-  Crosswalk (except across Valley Boulevard)
-  Trail Connection





Valley Boulevard cross section



Shared "green" alley cross section

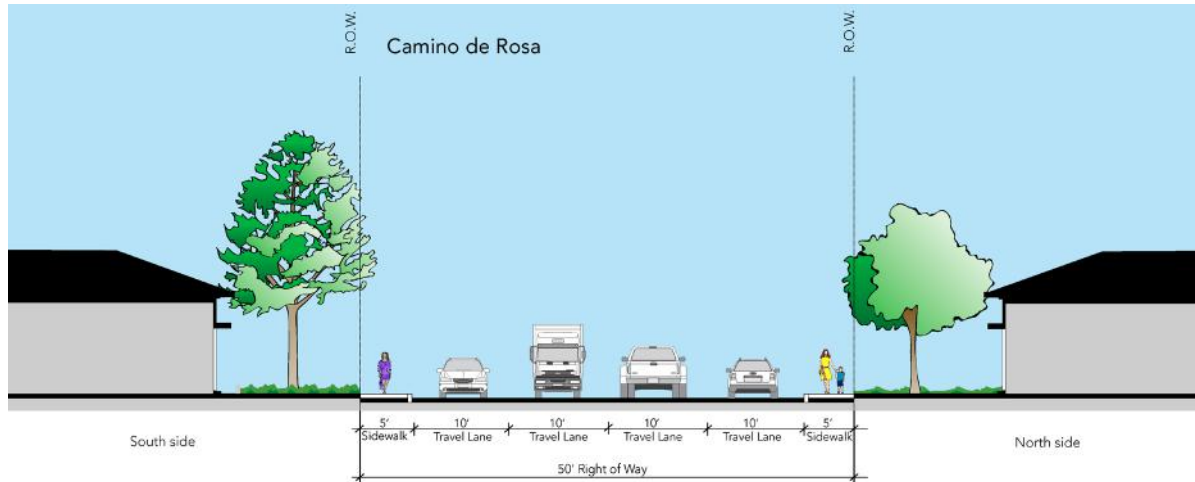
PLANNED IMPROVEMENTS

A core objective of the WVSP is to provide improvements within existing street rights-of-way. These planned improvements, as illustrated in the cross-sections and Figure 4-6 (Circulation Improvements), would accommodate all travel modes and improve the convenience for pedestrian and bicyclists accessing West Valley.

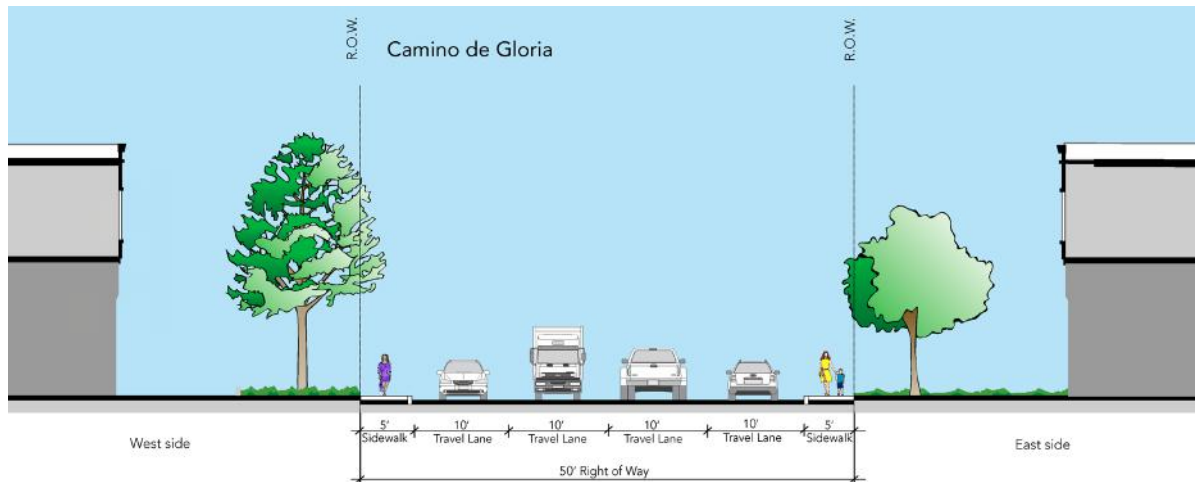
Valley Boulevard

Valley Boulevard is the major regional arterial and the defining roadway of the WVSP area. The challenge to making improvements to Valley Boulevard is its multijurisdictional nature. The Development Plan seeks to reconfigure the abutting portion of Valley Boulevard and coordinate with neighboring jurisdictions to achieve improvements with their jurisdictional rights-of-way. All four intersections of Valley Boulevard, as shown on Figure 4-6 (Circulation Improvements), would accommodate traffic improvements such as traffic signals and new lane controls.

The Valley Boulevard Midblock cross section illustrates plan for reconfiguring wide lanes on Valley Boulevard to create a new parking area, increase the width of the sidewalk, and include a Class II striped bike lane for one-way bicycle travel. Although the median remains out of the City's jurisdiction, it would be part of the overall street median plan that characterizes the City's other major arterials. Annexation of the Walnut's sphere



Camino de Rosa cross section



Camino de Gloria cross section

of influence on Valley Boulevard should be explored to carry out planned improvements in the area.

Alley

The alley is used as a vehicular access to loading areas by businesses fronting Valley Boulevard and by residents to access their garages abutting the alley. The alley will be retained in its current 20-foot width. In addition, as new pedestrian-oriented developments arrive and transform the area, the alley could warrant further improvements that will transform it to a shared walkable alley capable of accommodating vehicular traffic compatible with pedestrians. The water channel in the middle, or the entire alley, could be redone to incorporate “green” treatment of storm water control and filtering.

Local Streets

Improvements on the local streets are focused on their intersections with Valley Boulevard and incorporation of landscaped parkways to address the generally treeless character of the rights-of-way. With shade trees and complementary groundcover, the local streets can evolve to a much more inviting pedestrian environment and integrated with the community-wide tree canopy. The character of these local streets are to be complementary with the character of the activated outdoor areas abutting the streets.

Figure 4-6: Circulation Improvements

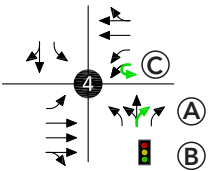


Source: Kunzman Associates, MIG, and City of Walnut



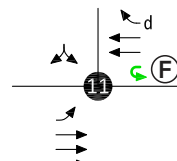
Improvements

1 Fairway Drive (NS)/ Valley Blvd (EW)



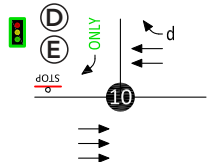
- (A) Restripe the northbound approach to consist of one left-turn lane, one shared left/through/right-turn lane, and one right-turn lane
- (B) Remove northbound right-turn overlap traffic signal phasing
- (C) Remove westbound U-turn restriction

3 Castlehill Drive (NS)/ Valley Blvd (EW)



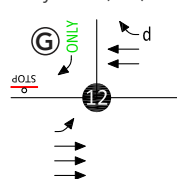
- (F) Remove the eastbound merging lane within the median and construct a westbound U-turn only lane

2 Camino de Gloria (NS)/ Valley Blvd (EW)



- (D) Modify raised median along Valley Boulevard to prohibit southbound and eastbound left turns
- (E) Install a traffic signal

4 Bourdet Avenue (NS)/ Valley Blvd (EW)



- (G) Modify raised median along Valley Boulevard to prohibit southbound left turns; continue to allow eastbound left turns

Improvements Key

- = Improvement/Mitigation
- d* = De Facto Turn Lane
- = Lanes
- = Traffic Signal
- = Stop Sign
- = Existing Lane

Boundaries

- Specific Plan Boundary
- Walnut City Boundary



Bus shelter and stop on Valley Boulevard

TRANSIT

Transit service along Valley Boulevard is provided by Foothill Transit buses through Line 194 that links El Monte Station with the Cal Poly Pomona campus via Valley Boulevard. The three bus stops of Line 194 along Valley Boulevard will continue to serve commuters. Furthermore, the addition of new residential housing opportunities next to the bus stops will have the potential to increase ridership. Through partnership with Foothill Transit, an additional stop and new bus shelters could be added to improve transit connectivity and efficiency.

Even within its suburban context, West Valley travelers have several transit options. In addition to bus service, commuter rail is available at the

Metrolink-Industry station nearby. The following strategies can enhance transit access and usage:

- Convert bus stops into bus shelters, with opportunities for enhanced community markers through signage and design.
- Ensure bus and transit routes externally connect to potentially large generators of customers and with other modes of transportation.
- Support shared mobility options for local businesses, including micro-transit and car sharing.
- Provide a multimodal link to the Metrolink-Industry station

SAFETY

The City is committed to increasing safe travel behaviors that may occur within the WVSP. Complete safety requires a multiprong approach involving education, penalties, monitoring, and infrastructure changes.

Towards Vision Zero

The City will explore creation of a local Vision Zero program. Vision Zero is “a strategy to eliminate all traffic fatalities, and severe injuries, while increasing safe, healthy, equitable mobility for all.”¹ In such a program, the City can prioritize informational and educational campaigns to modify dangerous behavior such as texting and driving, driving under the influence, and reckless speeding. Working with



Metrolink-Industry station commuters

¹ Vision Zero Network. “Vision, Strategies, Action: Guidelines for an Effective Vision Zero Action Plan”. December 2017

the Sheriff's Department, the City can also augment safe driving programs through passive and active law enforcement efforts that balance security with creating inviting travel environments.

Street and Alley

Ensuring that West Valley is an inviting place for all, the safety of the rights-of-way is paramount. Property owners and managers also have a role in maintaining a safe environment. The formation of a WVSP-focused business improvement district could potentially complement and supplement public law enforcement efforts.

Traffic Calming

At both ends of the alley, calming the speed of ingress and egress will help protect from any "blind turns" on the streets and the adjacent sidewalk. The downhill portions of the hillside streets as they slope towards Valley Boulevard could be studied for calming infrastructure. Speed reduction mechanisms on impacted streets could include speed cushions, bulbouts, designating and upgrading streets to "bike boulevard" status, and mini-traffic circles. These will be implemented only as warranted based on observed and documented need in conjunction with a recommendation by the City's Traffic and Safety Engineer or designee.

PARKING AND DRIVEWAY ACCESS

Parking shall be provided by each development per the requirements of this WVSP and the WMC.

Parking and Loading

Parking requirements, if too excessive, can erode the village character of the WVSP by prioritizing large paved lots. Non-residential portions of developments that provide excess parking spaces are encouraged to be part of an area-wide joint/shared parking facility. Given the small lot sizes, older buildings, and the proximity of residential uses, parking supply requirements and parking design should be optimally sized to balance observed vehicular demand, desired character, and the viability of envisioned land uses.

The WVSP acknowledges the unique mixed-use parking demands of a village main street. The City encourages the preparation of parking studies to determine the optimum parking supply for mixed-use developments as they occur.

The primary objective of loading schemes is to minimize loading areas to control the intrusion of large trucks, and circulation patterns that affect nearby residences.



Landscaped bulbouts slow cars and shorten pedestrian street crossing.



Marked bike paths and signed crosswalks can help drivers be aware of their surroundings.



Plaza within a private development

sponsored by the County of Los Angeles—and regional partners such as the San Gabriel Council of Governments—will transform San Jose Creek into an active transportation pathway, which will include trails and cycling paths. Surface connection from Lemon Creek to this planned network would occur primarily along the sidewalks of West Valley, with southerly connection accessed from the Fairway Drive/Camino de Teodoro intersection. This is an opportunity to design public spaces along this area to be better responsive to the open space identity of Walnut through the use of wayfinding, pavers, gateway treatments, and parkways.

PUBLIC GATHERING AREAS

Through new private developments, gathering places available for public use such as plazas, outdoor dining areas, common and private open spaces, and yards will be required to encourage exciting outdoor destinations within the WVSP area. Intimately scaled outdoor areas or plazas are to be designed to accommodate daily activities such as eating and relaxing. Space for public events, civic ceremonies, festivals, farmers' markets, promotional or business improvement events, and performances can help complement the civic gathering purpose of Norman Ashley Park and the Lemon Creek trail. Chapter 5 (Land Use and Development Standards) outlines the requirements for amenity areas and attractive outdoor open spaces to promote the objectives of the Open Space Plan within private developments.

Bicycle Parking

Bicycle parking and associated facilities will be required to be consistent with the WMC and Chapter 5 (Land Use and Development Standards).

- Integrate plazas and small urban gathering spaces in areas that are well activated by adjacent uses.
- Improve accessibility to the trail and trailhead along Lemon Creek, a segment of the Schabarum-Skyline Trail network.

Vehicular Driveway Management

Frequent curb cuts and driveways are barriers to pedestrians and disabled persons. The City strives to reduce curb cuts and driveways along Valley Boulevard. The City will target its initial vehicular access management efforts on reducing the most hazardous curb cuts and driveways before proceeding to reduce the number of Valley Boulevard curb cuts and driveways.

NORMAN ASHLEY PARK

The park anchors the active recreation portion of the WVSP, providing basketball courts, a picnic area, and playground. With its key location at West Valley's western gateway, opportunities are available around the park for more definitive visual markers of Walnut and the WVSP area. The park could also host community gatherings and events.

4.3 OPEN SPACE

The Open Space Plan has two objectives:

LEMON CREEK TRAIL

The planned San Gabriel Valley Greenway Network

4.4 SUSTAINABILITY

The concept of sustainability within the context of the WVSP is a multipronged approach to reduce the contribution of new development to Walnut’s overall greenhouse gas emissions. The WVSP helps implement the overall sustainable strategies set forth in the Walnut General Plan.

SUSTAINABLE LANDSCAPING

The landscape design approach aims to enhance the built environment with aesthetically pleasing and drought-tolerant, climate-appropriate landscaping. Landscaping along public roadways will provide a buffer to adjacent areas. Landscaping will also soften hardscapes and buildings, create continuity among individual development sites within the WVSP area, define entryways, and create a distinct visual identity. Implementation of vertical exterior gardens, roof gardens, and community gardens are also encouraged to meet landscaping requirements.

The plant palette for WVSP developments shall include a variety of groundcovers, shrubs, ornamental grasses, and evergreen and deciduous trees. Plant materials which exhibit very low or low water demand may be substituted for other species that are climate appropriate and enhance the thematic setting. Flowering plants are encouraged to be in any landscape plan, subject to review by City staff, and should implement a few (if not all) of the following principles:

- Drought-tolerant plant selection palettes should include colorful shrubs and groundcovers, ornamental grasses and succulents, evergreen and deciduous trees, and species native to the area or naturalized to the area.
- Landscaping should be used to identify, define, and enhance pedestrian paths and public gathering spaces, and to provide variety, texture, color, and seasonal interest.
- Parking lot landscaping should be designed to reduce associated heat buildup, improve aesthetics, and integrate into onsite landscape design and adjacent streetscapes.
- Distinct landscape elements should be incorporated to soften hardscapes, walls, buildings, and parking areas.
- Shade trees should provide shade and visual comfort along pedestrian paths, streetscapes, and within public gathering spaces.
- Landscaping treatments should coordinate along the edge of sites and circulation routes to unify the general appearance, establish continuity and provide a landscape buffer to adjacent land uses.

STORM WATER AND FLOOD CONTROL

Low-Impact Development (LID) principles can be applied to manage, reduce, and re-use storm water runoff. LID elements provide water quality treatment and delay storm water runoff while enhancing the urban landscape. Reducing the amount of storm



Drought-tolerant landscaping



Parking lot LID techniques

water runoff that enters underground drainage systems can decrease infrastructure upgrade costs, eliminate potential capacity deficiencies, and mitigate storm water runoff pollution.

Development projects are required to comply with the urban runoff pollution control and storm water provisions of the WMC, which outlines the essential LID and Best Management Practices (BMPs) into site design to improve local storm water quality and decrease runoff. Examples of storm water treatment controls/LID techniques are addressed through design approaches such as bioretention/bioswales areas, flow-through planter boxes, vegetated buffer strips, infiltration trenches, green roofs, green streets, permeable pavements, and rainwater harvesting/use. These elements should be incorporated on individual sites, as well as within streetscapes in the public right-of-way. Other BMPs may be approved by the City of Walnut or the County-wide program in the future to address National Pollution Discharge Elimination System (NPDES) permit requirements.

The following policies will guide storm water improvements as new development is constructed:

- Encourage storm water mitigation improvements in private realms through the development of storm water planters and green infrastructure such as storm water chambers, detention basins, bioretention areas, and flow-through



Walnut's verdant streets and landscape set the standard for West Valley developments.

planter boxes.

- Work with developers to promote, approve, and implement designs that include the integration LID strategies.
- Encourage site designs that maximize permeable surface cover and infiltration potential.

CALIFORNIA BUILDING CODE – ZERO NET ENERGY AND ZERO WASTE

In 2020, the California Building Code (CBC) will require zero net energy residential buildings; by 2030, zero net energy will be mandated for existing and new commercial buildings. Building codes will dictate the level of energy efficiency required. Both the City actions and private developments



Median right-of-way bioswale

4.5 INFRASTRUCTURE

approaches will flexibly accommodate these impending green building code changes or gain voluntary LEED-certification for participating developments.

West Valley is one of the older commercial areas of Walnut, and ensuring the efficiency and resiliency of aging infrastructure is critical to encouraging reinvestment by private property owners. The City is focused on providing fiscally responsible high-quality infrastructure through contracting services with private companies or other public agencies. The City's development review process guides the provision of fair-share infrastructure upgrades and maintenance.

These following objectives will guide the City in securing efficient and resilient infrastructure and utility services.

- **Fair Share.** Continue to require new development to fund fair-share costs of infrastructure upgrades and maintenance.
- **Regional Coordination.** Ensure regional providers adequately plan for and fund West Valley area public services and infrastructure improvements and maintenance.
- **General Plan.** Ensure that developments and applicable City plans are consistent with the General Plan and implement the goals and policies in the Community and Infrastructure Element.
- **Design.** Promote solutions that will reduce visual blight from infrastructure such as wireless telecommunication facilities, utility overheads, and mechanical equipment. Integrate the design of infrastructure into streetscapes and architectural themes of

private development projects. This may include developing a plan to place artwork on utility boxes on public properties.

- **Sustainability.** Coordinate with the responsible infrastructure providers of energy, fuel, and waste management for programs, policies, and informational campaigns focused on sustainability. Periodically review WVSP Objectives and Policies to be consistent with emerging sustainability principles such as "Zero Net Energy" and "Zero Waste."
- **Water Conservation.** Continue to require development projects to comply with the water conservation measures.
- **Water Quality.** Promote infrastructure improvements that will reduce storm water pollution that reaches Walnut's waterways

WATER

The WVSP area is served by the Walnut Valley Water District (WVWD). Imported water has been the WVWD's primary water source to meet potable water demands. WVWD has formed partnerships with neighboring water districts and initiated three projects that allow WVWD to distribute potable groundwater from the San Gabriel Basin, Central Basin, and Six Basins. This additional groundwater supply is intended to allow WVWD to provide consistent supply year to year without relying entirely on imported water. Although the Governor's Executive Order initiating cutbacks in water use was lifted in 2017, the City of Walnut maintains water conservation measures as a standard practice.

WWSP developments are required to comply with the water conservation measures.

SANITARY SEWER

The City is a member of the Consolidated Sewer Maintenance District of Los Angeles County (CSMD) administered and managed by the Los Angeles County Department of Public Works (LACDPW). The sewer collection system within Walnut consists of 91.3 miles of gravity sewer lines that discharge into the Los Angeles County Sanitation Districts' (LACSD) facilities for treatment and disposal.² Wastewater generated within West Valley would be conveyed to the San Jose Creek Water Reclamation Facility located in the City of Whittier. Existing 12-inch diameter sewer lines run along on Valley Boulevard and the alley; Camino de Teodoro has a 10-inch line, and Camino de Gloria has an 8-inch line.

The City plans for, and implements, sanitary sewer management policies through its Watershed Management Plan, Sanitary Sewer Management Plan, and Chapter 21 of the Walnut Municipal Code (governing sewer and sewage disposal). In 2013, the CSMD performed an assessment of the sewer lines in West Valley as part of a citywide review and found no significant defects.

STORM DRAINAGE

The Los Angeles County Flood Control District (LACFCD) maintains the storm drain lines in Walnut. Due to the topography and location of the San Jose Hills, approximately 93 percent of the City, including West Valley, drains to the south to San Jose Creek. All storm drain lines within West Valley are maintained by the County. Reinforced Concrete Pipe (RCP) lines are located on the block bounded by Camino de Teodoro, Valley Boulevard, and Camino de Gloria. Within the Planning Area, catch basins can be found along Camino de Gloria and Castlehill Drive.

Storm Water Pollution

Ensuring that storm water pollution controls are observed helps maintain the natural riparian integrity of Lemon Creek. A municipal storm water system only transports water for flood control purposes; no treatment of storm water occurs before it is discharged to local water bodies. The water in this system is not treated or filtered, which means any pollutants in the water go directly into the waterways, such as Lemon Creek, before reaching the rivers and the Pacific Ocean.

Land uses and the design of developments affect the amount and quality of storm water runoff that reaches Walnut's waterways. The operations of auto maintenance services and the associated impervious parking surfaces they require have been known to pollute storm waters. By providing for the gradual

phase out of such uses within the Planning Area, storm water quality will improve.

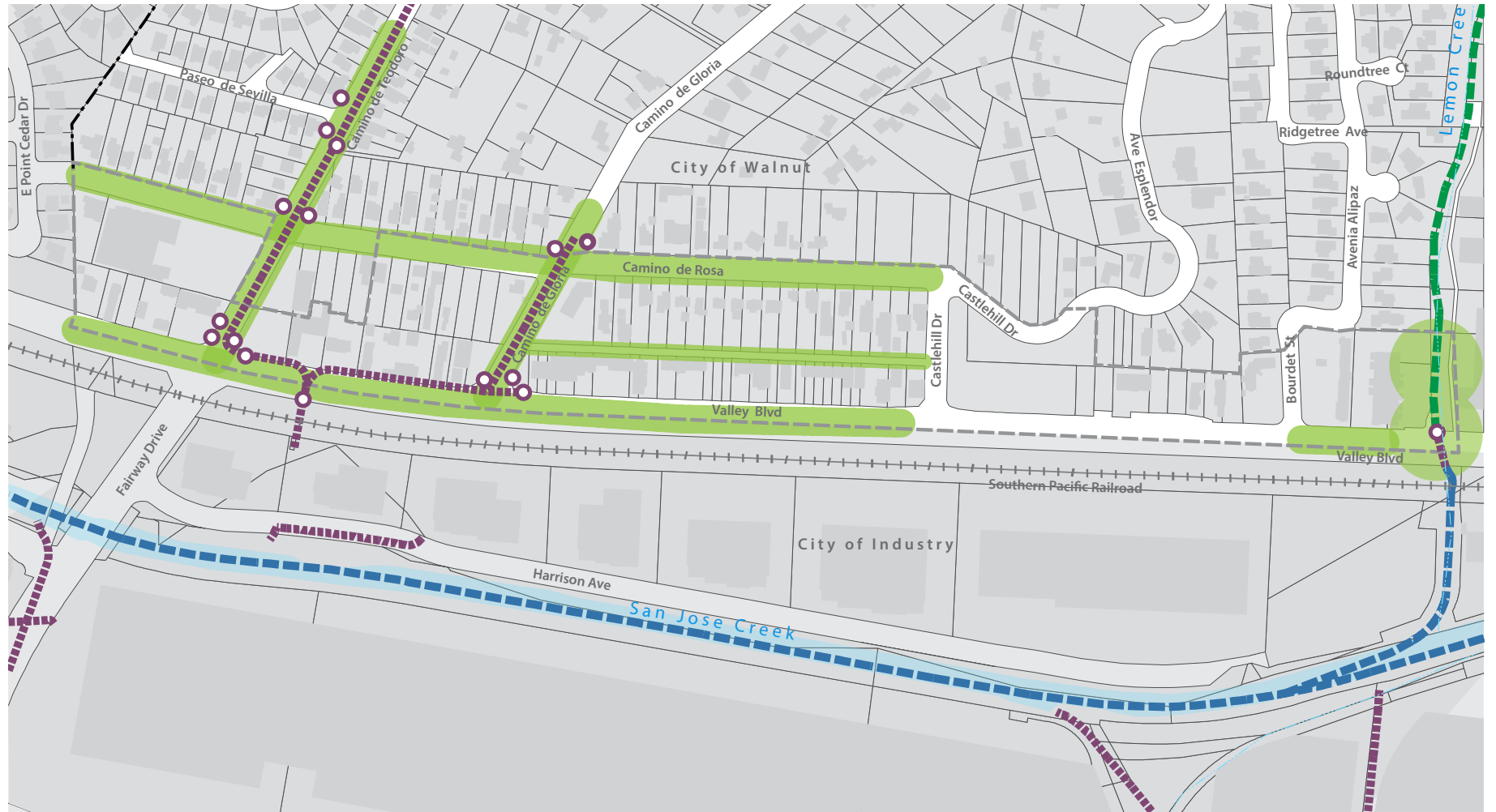
The City establishes the core policies of storm water pollution prevention control through its certified Watershed Management Plan and its LID and BMP ordinances.

Green Infrastructure

Opportunities to mark West Valley with good community design include the application of "green streets" principle with the concept illustrated in Figure 4-7 (Green Infrastructure). Green infrastructure allows public rights-of-way to accommodate low-impact designs with vegetated treatment systems (bioswales, drainage swale, vegetative buffers, rain gardens, constructed wetlands) and other green infrastructure improvements for storm water management. Such systems can benefit local creeks. Green street improvements along or near Lemon Creek would be ideal, helping to improve water quality prior to entering San Jose Creek.

² City of Walnut. "Sewer System Management Plan (SSMP) for the City of Walnut." October 2, 2007.





Figure 4-7: Green Infrastructure



Source: MIG, City of Walnut, and Los Angeles County Assessor, 2016.



Storm Drain Facilities

-  Standard Gravity Main
-  Improved Open Channel
-  Natural Drainage Stream (Lemon Creek)
-  Storm Drain Curb Inlet

Urban Runoff Low Impact Development (LID)

-  LID Opportunity Areas

DRY UTILITIES

Dry utility services described below are provided by contractors or non-City utility companies.

Electricity and Natural Gas

The WVSP area is served by Southern California Edison (SCE) for electric power and the Gas Company (SoCal Gas) for natural gas. The two companies coordinate with the City on educational services and information campaigns on a variety of sustainability programs such as energy conservation and solar initiatives.

Telecommunications

Charter Spectrum and Frontier provide cable television and broadband-speed internet services. AT&T and Charter Spectrum provide landline telephone services, and the larger nationwide wireless companies have coverage in the City. The WVSP area has infrastructure in place to provide needed telecommunications services.

Solid Waste

Valley Vista Services has a franchise agreement with the City to collect, recycle, and dispose of residential and nonresidential waste. This includes Christmas tree recycling, construction debris, and bulky items pickup. Handling and disposal of household hazardous waste and “e-waste” are performed by the Los Angeles County Public Works Department, and four locations nearby are designated for used oil collection.

PUBLIC SERVICES

Multiple agencies typically contracted by the City of Walnut for public services. Street sweeping is on a weekly basis, and the City contracts the service through a private company. Requests for street repairs, street lights, street signs, stop signs, and permit parking areas are processed by the City’s Public Works Department. The Lighting and Open Space Maintenance District (LOSMD) oversees landscape maintenance on public properties including rodent control and weed abatement. New developments may be required to be annexed into LOSMD District No. 1. The City’s Community Services Department ensures protection of City-owned/maintained trees, primarily through the Tree Policy Manual, which property owners must adhere to.

Parks and Recreation

Norman Ashley Park and the Lemon Creek trailhead bookend the WVSP area. Norman Ashley Park is a 0.38-acre recreational park. Lemon Creek at Valley Boulevard has two components: the waterway that passes underneath Valley Boulevard and the hiking trail above the creek which is at street level. The WVSP encourages linkages between the two through the creation of inviting walkable environments accompanied by neighborhood-defining, high-quality design. Potential locations of primary linkages occur through the alley or on Valley Boulevard.

Schools and Educational Facilities

No schools are located within West Valley. Three school districts serve the City of Walnut: Walnut Valley Unified School District (WVUSD), Rowland Unified School District (RUSD), and Covina Valley Unified School District. Students in the WVSP are assigned to one of the six public schools in WVUSD.

Mt. San Antonio College and Cal Poly Pomona are nearby higher education institutions available to residents. The Walnut Library at the Civic Center Complex is operated by the County of Los Angeles.

Public Safety

The City contracts with the County of Los Angeles to provide fire and law enforcement services. The Los Angeles County Sheriff’s Department serves the City from one of its four divisions, the East Patrol Division, which mainly covers the San Gabriel Valley. The Division operates the Walnut/Diamond Bar Sheriff’s Station located at 21695 E. Valley Boulevard in Walnut. West Valley is within the station’s three-mile service area. The station serves not only Walnut but also the City of Diamond Bar and the unincorporated areas of Los Angeles County (Rowland Heights and Covina Hills). Crime rates in Walnut are among some of the lowest within the Sheriff’s jurisdiction, and the 2015 Crime Incident Report indicates that the WVSP area does not have significant issues with either the type and frequency of reported criminal incidences.

The Los Angeles County Fire Department provides fire suppression and emergency medical services in Walnut. Two fire stations are in the City, with the location at 20011 La Puente Road (Fire Station No. 61) closest to West Valley. Through the regulatory tools described in Chapter 7 (Implementation Plan), the public safety services will be augmented by support from development fees.



Los Angeles County Fire Station 61



5

Land Use and Development Standards

CITY OF WALNUT

5

Land Use and Development Standards

5.1 GENERAL PROVISIONS — APPLICABILITY

The use and development standards of this Chapter apply to all subdivisions, new land uses and structures, and substantial rehabilitation, alterations, and/or remodeling of existing structures. Each of these shall be designed, constructed, and established in compliance with this Chapter.

Where a provision contained in this Chapter does not discuss a specific condition or situation that arises, the provisions set forth in the Walnut Municipal Code (WMC) shall apply. In the event of a conflict between these provisions and the provisions of the WMC, the provisions set forth in the WVSP shall govern including the specific processes to administer the regulations. In addition to these standards, all uses within the WVSP boundaries shall comply with all applicable local, State, and Federal laws, ordinances, and regulations.

NONCONFORMING PROVISIONS

Legal nonconforming lots, buildings and uses within the WVSP are subject to the regulations of Article XXI (Nonconforming Lots, Buildings and Uses) of the WMC.

5.2 ALLOWABLE LAND USES

This Chapter regulates the land use designations for each of the WVSP's land use designations, or zones, consistent with their descriptions outlined in Chapter 4:

- WVMU-1: Commercial Node Mixed Use
- WVMU-2: Corridor Mixed-Use
- WVMU-3: Transitional Residential
- P/OS: Parks/Open Space



ALLOWED USES BY ZONES

Allowed land uses within the WVSP are listed in Table 5.1: Land Uses and Permit Requirements. Certain uses may be subject to conditions regarding the location, operation, and design, or through the requirements of the permitting process. Following an application submittal, the Director of Community Development (Director) or his or her designee shall determine whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary or accessory use to a permitted use.

DEFINITIONS

Application of terms used in the WVSP are provided in Appendix B (Glossary of Terms).

SPECIFIC USES

Specific uses permitted in Table 5.1 are subject to additional standards pursuant to specific sections of Chapter 25 of the WMC.

- 25-26.6 Child related businesses
- 25-124 Outdoor sales, display or storage

ACCESSORY USES

All accessory uses may be permitted only when the primary use has first been established pursuant to the requirements of the WVSP. An accessory use must be demonstrably subordinate to the primary use. Small scale uses may operate as a primary use but are subject to the following criteria as an accessory use:

- Relatively smaller space required to operate
- Number of customers/patrons serviced

- Neighborhood impact

5.3 PROHIBITED USES

Uses listed as not permitted in Table 5.1 are prohibited in the WVSP area, in addition to the following:

- Adult business uses
- Auto, recreational vehicle, and truck repair and maintenance and Auto body as defined in Appendix B
- Body art and tattoo establishments
- Cannabis sales and cultivation pursuant to applicable provisions of the WMC.
- Drive-through facilities
- Gas and diesel fueling stations
- Kennels and animal shelters
- Light manufacturing
- Liquor stores
- Nightclubs
- Outdoor storage or open storage for commercial uses
- Pawnbrokers and pawnshops
- Payday lending and/or payday advance, check cashing, and title loans or similar types of uses
- Second hand thrift store
- Short- or long-term storage and vehicle storage
- Smoking/hookah lounges or similar types of uses
- Warehouses, wholesalers, freight forwarding, and logistics center

Also prohibited is any use that creates noise, odors, and similar adverse conditions that are incompatible with residential uses.

5.4 PERMITTING PROCESS

Chapter 25 Article XXIII. (Procedure Generally) of the WMC sets forth development review requirements and process for approval and appeal of projects for the WVSP. Article XXIV (Site Plan and Architectural Review) of the WMC applies for any construction, alteration, or addition to any building or structure, including signs or outdoor advertising structures. The following provisions shall also apply. :

- Permitted Use (P) is allowed without discretionary approval unless Site Plan and Architectural Review applies, and subject to all applicable provisions of the WVSP. A Permitted Use (P) replacing another Permitted Use (P) at the same tenant space and size shall be processed as by-right use.
- Conditionally Permitted Use (C) requires discretionary approval in the form of a Conditional Use Permit authorized by the Planning Commission and subject to the requirements outlined in Chapter 25 Article XIX. Conditional Use Permits of the WMC.
- Temporary Use Permit (T) requires approval by the Community Development Director per WMC requirements.
- Accessory Use (A) means permitted in association with a primary permitted use.

Table 5.1: Land Uses and Permit Requirements

LAND USES	P = Permitted C = Conditional Use Permit		A = Accessory Use -- = Not Permitted T = Temporary Use		
	WVMU-1	WVMU-2	WVMU-3	P/OS	NOTES
EATING AND DRINKING ESTABLISHMENTS					
Alcoholic beverage sales and service					
<i>Tasting rooms accessory to craft brewery, distillery, and winery</i>	P	P	--	--	
<i>Any use with alcohol sales and service</i>	C	C	--	--	
<i>Instructional</i>	P	P	--	--	
<i>Special events (state licensed)</i>	C	C	--	--	
Commercial kitchens	P	C	--	--	
Restaurants, full service	P	P	--	--	Excluding drive-ins and drive-thrus
Restaurants, limited service	P	P	--	--	
Outdoor dining	P	P	--	--	
Food courts, food markets, and food halls	P	P	--	--	
Walkup and/or food to go	A	A	--	--	
RESIDENTIAL					
Multiple-unit dwellings	See Notes	P	P	--	In WVMU-1, residential use permitted only in a mixed-use development with a commercial component pursuant to Section 5.5–Commercial Space (WVMU-1). Residential use not permitted on the ground floor of a mixed-use building.
Live/work unit		C	C	--	
Two-unit dwellings		P	P	--	
Single-family dwelling	--	--	P	--	
Assisted living facility	--	C	--	--	
Accessory dwelling unit	--	--	A	--	Subject to Section 25-26.4 (Accessory housing) of the WMC
Home occupations, including cottage food operations	P	P	P	--	Subject to Section 25-26.1 (Home occupation permit) of the WMC

Table 5.1: Land Uses and Permit Requirements (continued)

LAND USES	P = Permitted C = Conditional Use Permit		A = Accessory Use -- = Not Permitted T = Temporary Use		
	WVMU-1	WVMU-2	WVMU-3	P/OS	NOTES
OFFICE USES					
Professional, and government offices	P	P	P	--	
Financial institutions	P	P	--	--	Excluding payday lending and/or payday advance, check cashing, and title loans or similar types of uses
Medical and dental offices (outside of mixed-use building)	P	P	P	--	
EDUCATION, ENTERTAINMENT, RECREATION					
Child-related businesses	P	P	C	--	Subject to Section 25-26.6 (Child related businesses) of the WMC
Professional and vocational schools	P	P	C	--	
Instructional and tutoring services	P	P	C	--	
Recreation facilities – indoor and outdoor (private)	C	C	--	--	
Instructional studios, including display and sales	P	P	C	--	Subject to Section 25-26.6 (Child related businesses) of the WMC
Place of public assembly	C	C	C	--	
Health, fitness, gyms, and personal training studios	C	C	--	--	
Multimedia studio	P	P	C	--	Subject to the Noise Ordinance of the WMC
Institutions of educational, philanthropic and charitable nature, not including any commercial or industrial sponsored or operated by such institutions.	P	P	C		
Live entertainment venues	C	C	--	--	
Movie theater	C	C	--	--	
Public/Quasi-public gathering areas – plazas, squares, paseos, amenity areas	P	P	--	C	
Community centers	P	P	--	C	

Table 5.1: Land Uses and Permit Requirements (continued)

LAND USES	P = Permitted C = Conditional Use Permit		A = Accessory Use -- = Not Permitted T = Temporary Use		
	WVMU-1	WVMU-2	WVMU-3	P/OS	NOTES
RETAIL					
Convenience stores	P	P	--	--	Any use with alcohol requires a CUP
Farmers markets	T	T	T	T	
Retail	P	P	--	--	
Pharmacy	P	P	A	--	
Sports and recreational equipment sales and rental	P	P	--	--	
Nurseries and garden stores	--	P	--	--	
Vehicles sales and rental	C	C	--	--	No on-site vehicle display or storage permitted
SERVICES					
Acupuncture and acupressure	P	P	P	--	
Child day care facility	C	C	--	--	
Donation drop boxes	--	--	--	--	
Recycling facilities	--	--	--	--	
Community care facilities – six or fewer residents	--	--	P	--	
Community care facilities – seven or more residents	--	--	--	--	
Personal grooming services	P	P	--	--	
Animal services – veterinary, sales, and grooming	P	P	--	--	No overnight boarding permitted
Vehicle repair	--	--	--	--	
Laundromats, dry-cleaning, and clothing repair services	P	P	--	--	
Product repair services	P	P	--	--	
Massage establishments	C	C	--	--	
Mailbox and postal services	P	P	--	--	
Physical therapy	P	P	C	--	
Printing and duplication	P	P	--	--	

Table 5.1: Land Uses and Permit Requirements (continued)

LAND USES	P = Permitted C = Conditional Use Permit		A = Accessory Use -- = Not Permitted T = Temporary Use		
	WVMU-1	WVMU-2	WVMU-3	P/OS	NOTES
UTILITIES AND TRANSPORTATION					
Utility facilities	C	C	C	--	
Wireless telecommunications facilities	See Article XXV (Antennas and Communication Facilities) of the WMC				
Electric vehicle recharging stations	C	C	C	P	
Vehicle parking lots and structures	A	A	A	A	
Transit stops (public)	P	P	P	--	
MANUFACTURING AND STORAGE					
Storage completely within a building	P	P	--	--	
Accessory outdoor sales and display	A	A	--	--	See Section 25-26.5 (Outdoor sales, display, or storage of the WMC)
Craft brewery, distillery, and winery (small scale)	C	C	--	--	
Craft fabrication studio (small scale)	C	C	--	--	
OTHERS					
Late hours (10 PM to 6 AM)	C	C	--	--	
Special, Temporary, and Marketing Events	T	T	T	T	
Social and community service offices with on-site services	C	C	C	--	
Mobile food vending	T	T	T	T	

5.5 DEVELOPMENT STANDARDS

The WVSP development standards are organized by zones to establish the desired physical form and identity of the emerging community. The Development Standards and Design Guidelines are to be used in tandem, as they are tailored to the district's envisioned appearance and function.

Since the Parks/Open Space (P/OS) zone is not anticipated to be developed and is City property, the designation has not been included in the tables of development standards. This shall not be interpreted as an exemption from the requirements of the WVSP. The City, at its own discretion, shall apply development regulations on projects located within the Parks/Open Space land use designation.

COMMERCIAL SPACE (WVMU-1)

WVMU-1 is intended to be primarily commercial in nature. Table 5.2a identifies the minimum commercial area required for developments that include a residential component. No minimum commercial space apply to standalone commercial developments with no residential component. Though the development review process, the residential density will be established on a project-by-project basis tied to site constraints, the amount of commercial development in a mixed-use project, and access considerations

Table 5.2a applies to commercial uses listed under either "Eating and Drinking Establishment," "Retail," or "Education, Entertainment, and Recreation" of Table 5.1: Land Uses and Permit Requirements.

Table 5.2: Development Intensities

STANDARD	ZONES		
	WVMU-1	WVMU-2	WVMU-3
Residential (dwelling unit per acre)	14.0 base 28.0 maximum with provision of Commercial Space	24.0 maximum	14.0 maximum
Mixed Use (Floor Area Ratio)	1.5 maximum. Combined gross floor areas of Residential and Nonresidential components that have reciprocal access within a development site. Excludes open unenclosed areas such as patios, balconies, outdoor spaces, amenity areas, and open spaces.		
Lot Coverage	80% maximum		
Dwelling Unit Size (residential)	500 square feet minimum		
Commercial Space per Table 5.2a	24,000 square feet distributed approximately evenly on each node	N/A	

Table 5.2a: Commercial Space (WVMU-1)

COMMERCIAL SPACE PROVIDED	RESIDENTIAL DENSITY	ADDITIONAL STANDARDS
3,000 to 4,999 square feet	14.0 to 20.0 du/ac	Maximum 40 required parking spaces for Eating and Drinking Establishment uses identified in Table 5.7.
5,000 to 9,999 square feet	20.1 to 24.0 du/ac	Reduction of lot coverage requirements in Table 5.2. Reduction by 12.5% on required Commercial and Office parking stalls stated in Table 5.7. Elimination of setback maximums identified in Table 5.4.
10,000 to 55,000 square feet	24.1 to 28.0 du/ac	

5.6 STREETS AND PUBLIC AREAS

The WVSP introduces a suite of regulations appropriate for infill and mixed-use development to ensure an attractive and walkable environment. Among them are standards that require buildings to relate to pedestrian areas and standards that control bulk and massing.

ARCHITECTURAL FRONTAGES

Each building with a street or alley frontage shall have at least one architectural frontage type. Some frontage types are more appropriate in specific settings, such as arcades for commercial building, and stoops and dooryards for residential uses. Blended frontage areas may contain required landscaping and open space areas, amenity areas, and bike parking facilities, and may face any other public area such as pedestrian pathways and parking lots. Figure 5-1 (Required Architectural Frontage Types) show the various examples of allowable frontage type.

PEDESTRIAN PATHWAYS

A minimum six-foot-wide pedestrian pathway is required to be provided from adjacent sidewalks and parking to all ground-floor entrances (building tenants, stairs, escalators and elevators, ramps). Use of decorative pavers or textured/colored concrete is required of pedestrian pathway. Exemptions to this may be provided for ADA/pedestrian path of travel adjacent to or on the right-of-way.

Figure 5-1: Required Architectural Frontage Types



Arcades



Stoops



Porches and forecourts



Articulated shopfront



Courtyard frontage facing parking area



Shaded outdoor dining area

5.7 AMENITY AREAS

Amenity areas are unenclosed areas located between the building and the property line that abuts the street, or on the interior of the property accessible by the public. Figure 5-2 (Amenity Areas) shows the typical location of this area when a development abuts a street. This area shall be programmed with pedestrian amenities such as plazas, paseos, kiosks, and exterior seating/dining tables, sheltered benches, drinking fountains, stoops, courtyards, bike racks, shade elements, covered arcades, gardens, courtyards, frontages, or small refuse receptacles. Shading and enclosures such as low-height decorative fencing and gates, landscaped walls, planters, awnings, and other shade elements shall also be incorporated.

The purpose of the amenity areas is to activate the street and promote an outdoor living space on all types of permitted uses. Since the purpose of amenity areas is to accommodate the elements of programmable and active spaces, the following areas of any development can be considered amenity areas:

- Setback and stepback
- Frontages and pedestrian pathways
- Landscaping and open space

All of these elements shall conform to high-quality design standards. Refer to Chapter 6 (Design Guidelines) for example of elements appropriate for this area.

Table 5.3: Required Amenity Areas

FEATURE	STANDARD
Amenity Areas	<p>Nonresidential and Mixed-Use (by lot size)</p> <ul style="list-style-type: none"> • Less than 4,800 square feet: Minimum 400 square feet required • 4,800 square feet to 0.5 acre: Minimum 400 square feet required, plus 50 square feet for every increment of 2,000 square feet of lot size • Larger than 0.5 acre: Minimum of 1,200 square feet of amenity areas, plus 100 square feet for every increment of 3,000 square feet of lot size <p>Minimum 50% of amenity areas must be on the ground floor. All amenity areas must be publicly accessible and ADA compliant.</p>

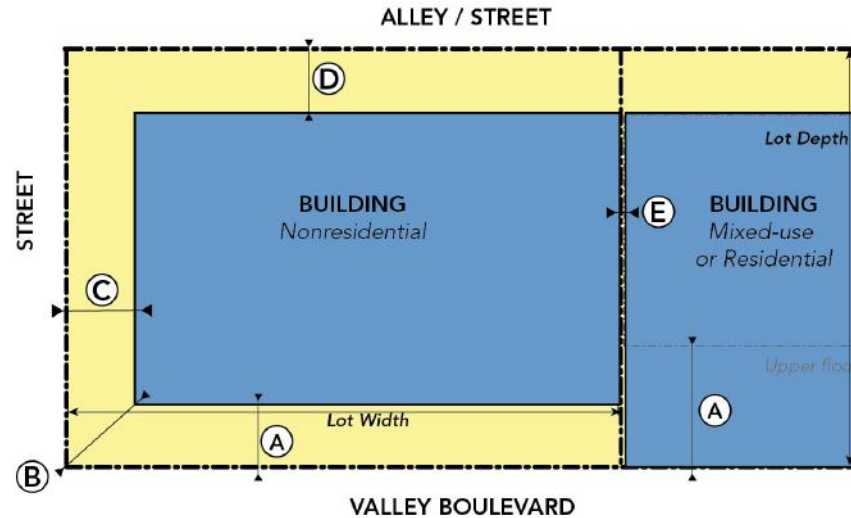
Figure 5-2: Amenity Areas



5.8 SETBACKS AND LOT DIMENSION

All development shall provide the setbacks identified in Table 5.4. All setbacks shall be measured from the property line. The minimum lot dimensions indicated in Table 5.5 shall apply.

Figure 5-3: Setback Diagram



NOTE: Figure 5-3 is to be used in conjunction with Table 5.4 for the sole purpose of illustrating the regulations contained in the table. Examples of architectural styles are identified in Chapter 6 (Design Guidelines).

Table 5.4: Setback standards

DEVELOPMENT FEATURES	ZONES			
	WVMU-1	WVMU-2	WVMU-3	Specific Regulations
Valley Boulevard	Maximum 15 feet		N/A	No off-street parking areas unless for emergency vehicles shall be located within 15 feet of Valley Boulevard.
Corner intersections on Valley Boulevard	Maximum 15 feet		N/A	Per Section 25-16 (Vision Clearance on corner and reversed corner lots) of the WMC
Other streets	Minimum 5 feet Maximum 12 feet			
Alley	Maximum 7 feet		N/A	

Table 5.4: Setback standards (continued)

DEVELOPMENT FEATURES	ZONES				
	WVMU-1	WVMU-2	WVMU-3	Specific Regulations	Diagram Key
Interior Property Lines	None required		10% of the lot width but no less than 5 feet		E
Setback Encroachments Permitted					
Allowed types of street frontages, public art, and amenity areas	Zero setback allowed. Frontages and amenity areas must not be more than four feet in height from adjacent street grade to be allowed within any setback area, and can potentially be subject to conditions in a Development Agreement (DA).				
Stairs, escalators, ramps, and other elevated pathways	Four-foot high or less: Zero foot setback More than four feet high: 10 feet setback		<u>Mixed-use and non-residential</u> Zero foot setback	Does not apply to steps that are architecturally integrated to allowed types of street frontages	
Mechanical equipment and on-site serving utilities	Maximum two feet except when yard faces a street, then no encroachment allowed				

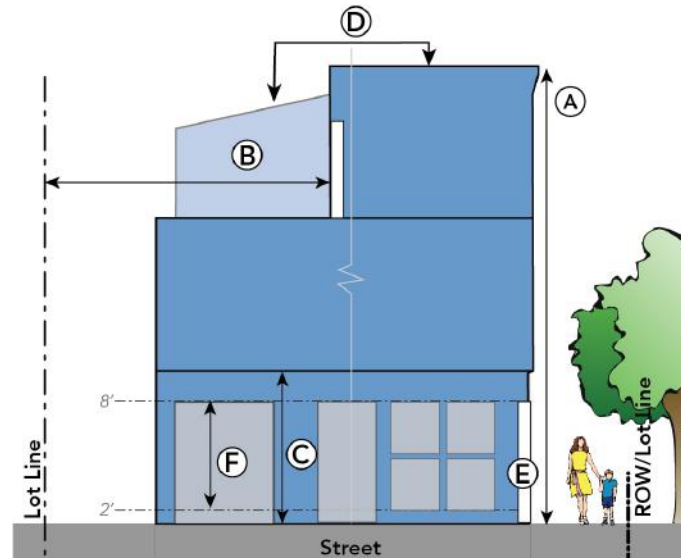
Table 5.5: Lot dimensions

STANDARD	ZONES		
	WVMU-1	WVMU-2	WVMU-3
Lot Area	<u>Mixed-use</u> : 10,000 square feet minimum. <u>Single use</u> : 7,200 square feet minimum (unless developed as air-space condominiums, then footprint of buildings may be less than 7,200 square feet)		
Average Lot Width	50 feet minimum		

5.9 BUILDING DIMENSION AND FAÇADE

All new construction, including additions to existing buildings, shall comply with the building and façade requirements in Table 5.6.

Figure 5-4: Building Dimension and Façade Diagram



NOTE: Figure 5-4 is to be used in conjunction with Table 5.6 for the sole purpose of illustrating the regulations contained in the table. Examples of architectural styles are identified in Chapter 6 (Design Guidelines).

Table 5.6: Building dimension and façade

DEVELOPMENT FEATURE	ZONE				
	WVMU-1	WVMU-2	WVMU-3	Specific Regulations	Diagram Key
Building Height	<ul style="list-style-type: none"> 3 stories: 40 feet maximum 2 stories: 35 feet maximum 1 story: 18 feet maximum 		35 feet maximum	Building height permits a maximum of 4 feet of parapet for required screening or open work railing enclosing open spaces above the building height Building volume may not exceed 60% over 35 feet.	A
Building stepback	Minimum four feet of building stepback above 35 feet when facing a single-family residentially-zoned area			Unroofed open space component such as upper floor balcony and roof deck is allowed in stepback area	B

Table 5.6: Building dimension and façade (continued)

DEVELOPMENT FEATURE	ZONE				
	WVMU-1	WVMU-2	WVMU-3	Specific Regulations	Diagram Key
Interior Ground Floor Ceiling Height Minimum	<u>Commercial and mixed-uses:</u> 14 feet <u>Residential:</u> 10 feet				C
Roofline variety	Roof lines of 25 feet or more in length shall be broken at intervals by changes in height and/or roof form.				D
Primary Entrance	Buildings must locate primary entrance door facing a public sidewalk, street, or interior courtyard. Entrances at building corners may be used to satisfy this requirement				E
Windows and window transparency	Minimum of 75 percent of the street-facing building façade between 2 feet and 8 feet in height must be comprised of clear non-reflective windows. <u>Nonresidential Frontages (south-facing) along Valley Boulevard:</u> Windows must be transparent glass, including tinted and colored glass, which must provide a minimum visible light transparency/transmittance level of 50 percent.				F

5.10 VEHICULAR ACCESS AND PARKING

Table 5.7 identifies the requirements of vehicular parking and access regarding design and minimum provisions. These standards supplement Article XX (Off-street parking) of the WMC. The WVSP encourages the optimization of parking supply and proactive parking management to encourage attractive designs and control the impact of vehicles on surrounding neighborhoods. Allowed are the following:

- Shared and joint-use parking that permits the efficient use of parking and loading spaces throughout the day
- Use of parking studies that establishes the right balance between parking supply and parking demand
- Parking management, including Transportation Demand Management policies administered by private property owners within their respective developments to invest in staff and technology to eliminate any off-site parking overflows

Long-term employee and staff parking on City streets or alley are not permitted.

LOADING AREAS

Shared and joint use of parking areas for loading purposes to accommodate the temporary nature of loading activities for most developments, and to promote a type of load-once urban freight strategy that control the promulgation

Table 5.7: Vehicular Access and Parking

FEATURE	STANDARD
Parking and Loading	
Stall Dimensions	<ul style="list-style-type: none"> • <u>Standard parking stall</u>: 9 feet by 20 feet • <u>Garages</u>: 10 feet by 20 feet interior dimensions • <u>Compact</u>: 8.5 feet by 15 feet. Permitted only for in excess of minimum required spaces and only for nonresidential uses. • <u>Tandem</u>: Depth of no more than two regular standard dimension stalls. Permitted only in garages of residential use.
Parking Area Development Standards	Refer to Section 25-204 (Development of parking facilities) of the WMC for additional parking area development standards. No off-street parking areas unless for emergency vehicles shall be located within 15 feet of Valley Boulevard. All ADA requirements shall apply to new parking and loading facilities.
Loading Spaces	<p><u>Nonresidential and mixed-use development only</u>:</p> <p>To be determined through the development review process.</p> <p>Loading permitted in vehicular parking areas subject to approval with conditions of a joint or shared use parking agreement.</p>
Parcel Delivery	<p>Parcel delivery sites may be located off site, but no less than 100 feet from any designated drop-off/pick-up locations of the business site.</p> <p>Parcel delivery sites are permitted for commercial businesses with incidental loading space needs.</p>
Curb Cuts and Driveways	
General	<p>Existing curb cuts and driveways that exceed the number and dimensions required must be removed prior to approval of any new curb cuts and driveways.</p> <p>Decorative paved surface is required on driveway entrances for a minimum 10 feet measured from the right-of-way.</p>
Location	No curb cuts are allowed for lots that abut an alley. Lots that abut the alley shall be required to take vehicular access from the alley.
Driveway Dimension	<p>12 feet width minimum</p> <p>26 feet width maximum</p>
Maximum number	<p>One curb cut per lot, except corner lots may have curb cuts on both streets</p> <p>Maximum width of 24 feet driveway access, plus four-foot pedestrian and bicycle pathway</p>



Interior of bike storage facility

of excessive loading areas, and to prevent surrounding streets for unauthorized loading and delivery. Development may consolidate parcel pickup areas required for new developments.

CURB CUTS AND DRIVEWAY

Enhancing the pedestrian environment and promoting safer travels on surrounding street includes reducing the number and size of curb cuts per the specific standards set in this chapter.

TRANSPORTATION DEMAND MANAGEMENT

The provisions of Division 2 (Transportation and Air Quality Measures) of Title VI (Planning and Zoning), Chapter 25 (Zoning) of the WMC is applicable for qualifying projects.

Table 5.7: Vehicular Access and Parking (continued)

FEATURE	STANDARD
Minimum distance from street corners	50 feet
Minimum distance between curb cuts on the street frontage	55 feet
Vehicular Driveway Slope	Maximum 5%
Other Modes	
Bicycle Parking	Mixed-use and Nonresidential: Number of spaces as required by CALGreen Code.
<i>Minimum facilities</i>	Mixed-Use or Nonresidential : One bike rack minimum. Secured bike storage facility or lockers within a structure reserved for bike storage are required for bike racks that hold more than 18 bicycles.
Electric-Fuel Charging Stations	Per the latest CALGreen Code or local Walnut Green Building Code
Parking Spaces Required by Use	
Residential (2 units or less) and Residential Mixed Use	1-bedroom units: 1 space per unit 2 or more bedroom units: 1 space per bedroom per unit
Residential (3 units or more), excluding Residential Mixed Use	1.75 per unit, plus whichever is greater of: 1 per bedroom in excess of 2 bedrooms per unit; or 1 per 200 square feet in excess of 1,200 square feet of living area
Use Conversions	No additional parking spaces required for uses listed under Eating and Drinking Establishments and Retail that converts a Section 5.3. Prohibited Use
Eating and Drinking Establishment	1 per 200 square feet of both indoor and outdoor dining areas, plus 1 per 400 square feet for any food preparation and dishwashing area, indoor loading area, employee areas, and accessory administrative offices. Eating and Drinking Establishments that use less than 25% of floor area for preparing and dispensing food are exempt from parking requirements..
Commercial and Office	Per Section 25-201 (Schedule of Maximum Requirements) of the WMC.

5.11 LANDSCAPING

The following standards implement Walnut’s objectives regarding green community design, reduced prominence and impact of impervious surfaces, parking areas, and areas dedicated for landscaped and activated open spaces.

All landscaped areas shall comply with City Water Conservation Ordinances and policies (WMC Article XVI, Division I). Chapter 6 (Design Guidelines) encourages the integration of storm water pollution management controls into landscape plans. Established landscaped areas must be maintained in a healthy condition at all times.



Parking area shade tree and planter

Table 5.8: Landscaping

FEATURE	STANDARD
Landscaped Area	
Minimum Site Landscaping	Street frontage setback areas are required to be landscaped. Measurement of landscaped areas shall not include vehicular driveway areas and retention basins. A maximum 30 percent of decorative hardscaping per development site may be used to meet landscaping minimum requirements.
<i>Living Wall Option for Substandard Lots</i>	Plantings of vegetation designed and structured to cover up to 80% of the exterior building walls may meet site minimum requirements in lieu of landscaped setbacks for lots that are either substandard in required lot width, or for lot areas smaller than 7,200 square feet. Surface parking area requirements still apply.
Private Open Space – Residential Use	A minimum of 60 square feet with a minimum dimension of 5 feet of enclosed private open spaces for each residential unit.
Impervious Surfaces	
Walkways, parking areas, vehicular accessways	40% maximum of any street-facing required setback area. Any other area must be landscaped or provided with an amenity area. Amenity area allowed to be impervious.
Surface Parking Areas	
Lot area – 1,600 to 4,800 square feet	75 square feet minimum of planter area and must include a shade tree of minimum 36-gallon size. Does not apply to single-family residential developments in the WVMU-3 zone.
Lot area – 4,800 square feet to 0.5 acres	5% minimum of any parking area must be landscaped. Does not apply to single-family residential developments in the WVMU-3 zone.
Lot area – More than 0.5 acres	10% minimum of parking must be landscaped, plus a minimum of 1,200 square feet of amenity areas
Shade Trees	
Size	Trees must be of adequate size and canopy to shade parking areas, pedestrian pathways, street setback areas, amenity areas, and other publicly accessible areas at 5- to 15-year of good growing years. Minimum 36-gallon size trees.
Landscaped areas	<u>Nonresidential and Mixed Use:</u> One shade tree for any landscaped area, plus one shade tree per 250 square feet of landscaped area
Surface Parking Area	<u>Nonresidential and Mixed Use:</u> One shade tree for any parking area. For parking areas 1,000 square feet or more in size, one additional shade tree for every 300 square feet of parking area.

5.12 FENCES AND WALLS; LIGHTING

Decorative fences and walls and lighting have the primary purpose of securing private and public areas. In addition, fences and walls—including gates and hedges—can effectively delineate boundaries of features such as landscaping and parking areas.

All exterior lighting shall be fully shielded from above and shall directly light only within the property or development site. Prohibited lighting can include, but is not limited to, drop-down lenses, mercury vapor lights, ultraviolet lights, and searchlights, laser lights, or any other lighting that flashes, blinks, alternates, or moves.

Figure 5-5: Fence and Wall Height

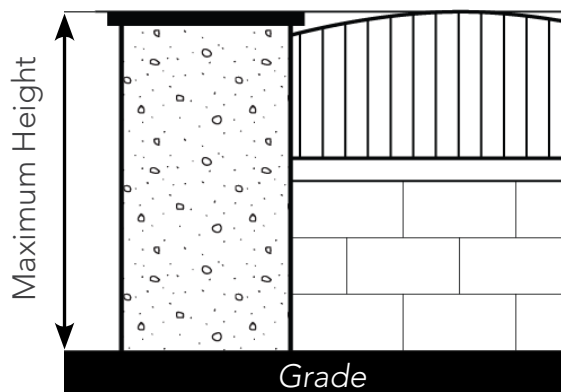


Table 5.9: Fences and Walls

FEATURE	STANDARDS
Fence, Wall, Gates, and Hedge Heights Maximums	Maximums apply to all appurtenant support columns, poles, crown, and pilasters of fences, walls, and gates.
<i>Setback areas</i>	Two-foot-high solid block wall plus one foot of open-work fence above. Gates: Two-foot-high solid block wall plus two feet of open-work fence above, or four feet of grillwork
<i>Outside setback areas</i>	Six feet. Taller fences may be permitted via the Administrative Adjustment process.
<i>Railings</i>	Four feet
<i>Ground-floor screening</i>	Six foot maximum decorative concrete masonry unit wall or hedge. Required for ground-floor and rooftop mechanical equipment
<i>Corner and driveway visibility</i>	Per WMC Section 25-16 (Vision Clearance on corner and reversed corner lots)

Table 5.10: Lighting

FEATURE	STANDARDS
Light Standard	Maximum height of 35 feet in WWMU-1 and WWMU-2, and 20 feet in WWMU-3 and P/OS

5.13 SIGNS

All signage shall be consistent with Chapter 6 (Design Guidelines).

COMPREHENSIVE SIGN PROGRAM

A coordinated, comprehensive sign program shall be prepared for new developments, including those with single tenants, to allow greater diversity and creativity beyond the limitations set forth by the WMC. Sign programs that requests additional sign types or create standards not specified in Chapter 6 (Design Guidelines) may require design review and/or amendment to an existing approved comprehensive sign program. Subsequent to approval of comprehensive sign program, the City may process all sign permits administratively for signs consistent with the comprehensive sign program.



Design Guidelines

6

Design Guidelines

INTRODUCTION

The Design Guidelines draw inspiration from West Valley's origins as Walnut's original commercial district. The Design Guidelines help put a distinctive Walnut imprint on the character of Valley Boulevard by presenting West Valley as a thriving, magnetic place.

6.1 OBJECTIVES

The following overarching objectives represent the long-term urban design and architectural direction West Valley. The guidelines are broad policy statements intended to guide decisions related to site planning, urban design, and architecture:

- Provide a foundation of achievable high-quality designed developments.
- Minimize the type of structures that focus on auto-oriented designs.
- Guide the design of developments towards craftsmanship.
- Provide for an attractive and unique community image by creating a walkable, cohesive, and enduring built environment.
- Orient buildings toward the street to create and foster a pedestrian-friendly environment.
- Use quality materials and façade elements to provide visual interest and durability.
- Establish methods in site planning, building architecture, and building placement for consistent design to create a sense of place.
- Enhance the streetscape with street furniture, landscape plantings, and integration of Walnut's community forest.



6.2 PURPOSE

The purpose of the Design Guidelines is to define the desired elements and details related to building architecture, human scale, the public rights-of-way, and how a building interfaces with the public realm. The Design Guidelines help users visualize the urbanized and revitalized West Valley neighborhood. The Design Guidelines promote human-scaled community design principles that creates a walkable environment with the qualities of attractiveness, accessibility and interactivity, and restore the “main street” character of Valley Boulevard.

6.3 APPLICABILITY

This chapter applies to all new development and projects within the WVSP area on public rights-of-way and private lands. The Design Guidelines apply to new construction, additions and alterations to existing structures. The Design Guidelines are to be used in conjunction with the Development Standards to shape and enhance the character of the WVSP area.

LANGUAGE

These Design Guidelines use the terms “shall” and “should.” “Shall” means mandatory improvements/design features; “should” means strongly encouraged. The City is given the authority to determine the degree to which “should” provisions apply.

STREETSCAPES

Streetscape improvements will be implemented over time and may be carried out by developers/private property owners, as well as by the City. The City may require projects to be annexed to the Landscape and Open Space Maintenance District No. 1 to maintain the improvement of the community forest within the WVSP area. Ultimately, these improvements will help enhance the vitality of local businesses, promote economic development, and make West Valley an exciting and invigorating place to live, visit, and own a business.

6.4 PROCEDURES

The City shall review every development in the WVSP for consistency with these guidelines and in tandem with Chapter 5 (Land Use and Development Standards). The City shall implement the Design Guidelines supportive of creative solutions to design challenges, promote originality and innovation, ensure compliance with the WVSP and WMC, and further sustainable design.

6.5 ARCHITECTURAL GUIDELINES

The arrangement of structures in relationship to the site and adjacent street is a paramount consideration when meeting the objectives of the Design Guidelines. The following discussion establishes criteria for creating the relationship between structures, sites, and adjacent streets.

OPTIMAL SITING

The following describes the ideal relationship of structures to the street and alley. The key desired outcome is to formalize the pedestrian infrastructure of WVSP by applying the following guidelines to site planning:

- Commercial uses shall be established on the ground-floor facing Valley Boulevard within the WVMU-1 and adjacent side streets.
- Locate semi-private open space such as common courtyards to face streets, thus activating the street corridor and providing “eyes on the street.”
- Locate private parking lots, driveways, and loading areas behind buildings, with access from side or rear streets/alleys.
- Provide pedestrian passages and paseos that enable through-block pedestrian circulation.
- Minimize curb cuts and driveways on the sidewalks to improve the walking environment.

CONTEXT ORIENTATION

To ensure developments demonstrate compatibility within the surrounding residential and commercial uses, the following guidelines shall be used to determine the appropriateness of site design to guide context sensitivity:

- Orient buildings so that primary façades and key pedestrian entries face streets, open spaces, and publicly available gathering areas.
- Orient residential and commercial developments that are adjacent to public parks, plazas, or common areas toward public/common open space areas.
- Supplement safety initiatives by encouraging “eyes on the street” with transparent windows, doors, and open porches/outdoor seating areas.
- Corner buildings should be accentuated with height, articulation, and unique roof silhouettes to emphasize their presence.
- Require common usable open space such as plazas, paseos, greens, and community gathering spaces within residential developments.
- Encourage new residential and mixed-use residential developments to be configured around open courtyards, garden atriums, and pedestrian pathways.
- Minimize building bulk and mass by following important safety, aesthetic, and sustainable benchmarks such as limiting the size of impervious surfaces, reducing curb cuts and driveways, controlling noise, retaining views of surrounding hillsides,

and maintaining and adding to Walnut’s community’s forest.

- Design buildings on parcels adjacent to Lemon Creek to have frontages that ensure building façades adjacent to the creek are open and articulated.

BUILDING DESIGN PRINCIPLES

The following building design principles apply to all new construction, additions, and alterations to existing structures. The purpose is to emphasize the orientation of buildings toward sidewalks and rights-of-way, increase the visual interest of buildings, and incorporate design elements that provide opportunities for people to interact. Figure 6-1 (Architecture Styles and Details Examples) illustrates the more acceptable types of overall building architecture, but is not intended to be prescriptive. The City shall be given broad discretion when implementing the building styles shown in Figure 6-1.

Guidelines

Regardless of architectural style, developments must demonstrate craftsmanship in the application of detail, use of high-quality design and materials, knowledge of proportionality, and a pedestrian-friendly interface with sidewalks. Buildings, through a combination of fenestration, attractive design treatments, and amenity areas, shall have an engaging relationship with the street.

Massing and Scale

The essential tools that complement

development density are the various standards that control the appearance of outsized buildings, which are considered incompatible with Walnut’s prevailing low-scale architecture.

- Articulate the building form (such as, but not limited to, building wall lengths, heights and projections) through the implementation of architectural details, varied setbacks and stepbacks, and changes in materials and colors.
- Prominent building locations—at intersections, at the terminus of a street corridor, and at gateway locations—should utilize superior architectural features such as rounded or cut corners, corner towers, inviting corner entrances, corner roof features, enhanced shop windows, and/or special base designs.
- Ensure that projects built adjacent to existing single-family zoned parcels respect the scale and privacy of these adjacent properties. Transitions can be made by varying the massing within a project, stepping back upper stories, and varying the size of design elements to transition to smaller-scale buildings.

Building Façade Design

Finely detailed and articulated building façades create a rich character and contribute to the pedestrian scale. The City expects that building façade design on the ground-floor engages pedestrians and amplifies the attractiveness of the development where visible from adjacent streets. The following techniques shall be observed when

creating an acceptable building façades design:

- Building design shall incorporate a 360-degree design philosophy, understanding that all of the built environment shall be well designed, not just those areas visible from public areas and primary streets.
- Create visual interest in building façades and break up the mass of large-scale buildings with articulation in form, architectural details, recessed or projecting elements, and changes in materials and colors.
- Incorporate architectural elements and details on all walls, such as adding notches, clustering/recessing windows, adding loggias and dormers, varying cornices and rooflines, and adding canopies, wing walls, trellis features, arcades, and colonnades.
- Vary materials, colors, and textures to enhance key components of a building's façade (i.e., window trims, entries, projecting elements, etc.).
- All building façades shall avoid blank walls. Features such as espaliers/trellises and vines should be placed on any large ground-floor wall expanse.
- Similar and complementary massing materials and details shall be incorporated into side and rear façades.
- Architecturally enhanced and "dark sky" compatible exterior lighting and fixtures, when appropriate, shall be incorporated to compliment building design and promote safe environments.

Entries, Doors, and Windows Design

Entryways are a critical design feature of buildings, guiding pedestrians to the interior and setting the architectural character for the rest of the development. The skillful arrangement of windows and secondary entrances is an integral component of a well-crafted exterior building design. Refer to Figure 6-2 (Commercial and Mixed Use Façades and Elements) for examples.

Transparency of glazing materials is a characteristic of well-designed storefronts, including windows, doors, wall composition, colors, and display areas. Buildings shall incorporate one or more of the following at entrances:

- Display area for products with varied accent illumination
- Placement of small art installment or decorative detailing at the entry
- A projecting element above the entrance
- A change in material or detailing
- Implementation of architectural elements such as flanked columns or decorative fixtures
- Recessed doors, windows, archways, or cased openings
- A portico or porch projections from or set into the surface
- Changes in the roofline, a tower, or a break in the surface to the subject wall
- Windows located at the street level should maximize views for the interior through

illumination, and clear windows.

- Shutters, moldings, mullions, and divided lines should be used as accent elements on windows.

Residential

In addition to the guidelines outlined in this Chapter, the following shall apply to new construction, additions, and alterations to existing structures for uses with ground-floor residential access from the primary street. The transition from public sidewalk to private space is especially important when residential uses are located at the ground floor.

- New residential buildings shall provide frontages in the form of stoops, overhangs, porches, and other permitted frontages between public areas and entrances.
- A distinctive entry should be established for each exterior individual entries and defined with architectural elements consistent with the architectural style of the development as a whole.
- Decorative lighting should be provided at entries.
- If exterior staircases are used, they should be incorporated into the overall architectural massing of the building. Staircases over four feet high shall be set back. The use of metal staircases is strongly discouraged.

Building Types – Residential

Residential buildings, where allowed, may consist of the following:

- Detached single-dwelling units

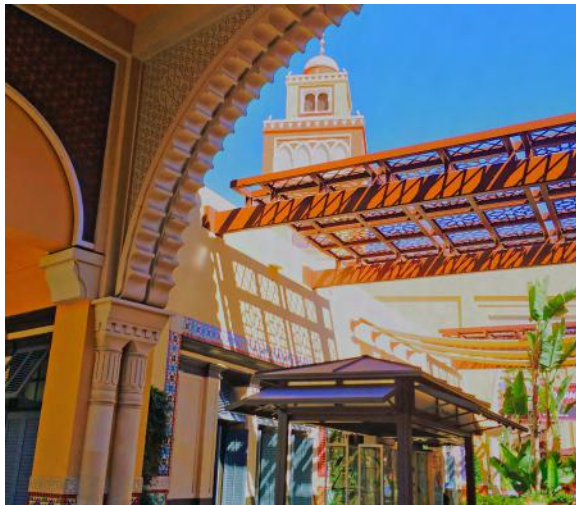
Figures 6-1: Architecture Styles and Details Examples



New traditional Spanish-style neighborhood with articulated façades and entries.



Multifamily residential facade with raised front entries.



Interior public areas are encouraged to reflect the building's exterior architectural style.



Mixed-use contemporary with decorative windows, "pop out" architectural elements, and a distinctive roof line.



Rural commercial using rugged materials and finishes.

- Detached accessory structures and dwelling units
- Duplexes
- Cottage
- Apartment complex of multiple detached structures
- Rowhouse
- Courtyard and garden buildings
- Stacked flats with ground-floor commercial

Retail, Stand-alone Retail and Office

Ground-floor retail and office spaces shall be inviting to the pedestrian and draw visitors into the space. In addition to the other guidelines outlined in this Chapter, the following apply to new construction, additions, and alterations to existing structures for retail uses:

- Ground-floor space designed for retail or other active uses shall orient tenant spaces to the street and maximize storefronts and entries along the sidewalks to sustain street-level interest and promote pedestrian activity.
- Enhanced ground-floor architectural features shall be high quality, well designed, and pedestrian oriented.
- Storefront configurations shall be enhanced and details shall provide a sense of pedestrian scale, variety, and interest within the overall context of the buildings.
- Ground-floor retail space shall wrap the corners that face intersecting streets.
- The primary entrance to each street-level

tenant space that has its frontage along a public street shall be provided from that street.

- The primary entrance to each street-level tenant space that does not have its frontage along a public street shall be provided from a pedestrian paseo, courtyard, or plaza.
- Wall openings such as storefront windows and doors shall comprise at least 50 percent of a building's street-level façade.
- Clear glass for wall openings, (i.e., doors and windows) shall be used along all street-level façades for maximum transparency, especially in conjunction with retail uses. Dark-tinted, reflective, or opaque glazing shall not be permitted for any required wall opening along street-level façades.

Mixed-Use Development (Commercial and Residential)

In addition to the other guidelines outlined in this Chapter, the following provisions apply to new construction, additions, and alterations to existing structures of mixed-use development. The primary design issue related to mixed-use projects is the need to successfully balance the requirements of residential uses, such as the need for privacy and security, with the needs of commercial uses for access, visibility, parking, loading, and the possibility of extended hours of operation. Residential and non-residential vehicular and pedestrian access shall be differentiated with paving material, color, landscape buffers, etc.

- Uses should be oriented to facilitate proper

transitions to surrounding buildings and adjacent uses.

- Variations should be created within the site through vertical differences such as, but not limited to grading, massing, roof heights, etc.
- Storefronts should be characterized by continuous building frontages, adjacent to, and with awnings over walkways.
- Lighting, including reflected light, should be focused so that residential areas receive minimum light and glare from commercial areas.
- Mixed-use development should result in the formation of enhanced plazas, paseos, and small parks integrated with retail, office, entertainment, recreation, and community-related activities in the immediate area.
- Landscape features should be used to highlight individual tenant spaces.
- Distinctive and enhanced signs shall be provided for identification and guidance (e.g. wayfinding), and for each tenant space.
- Noise-attenuating protection shall be added for noise-sensitive uses and to provide privacy for residential areas.
- An overall design palette should include building materials and textures that define an overarching theme.
- Accessory structures should be strategically located to contribute to a visual and functional separation.

Building Types – Mixed Use

Mixed-use building types are identified in

Figure 6-2: Commercial and Mixed-Use Façades and Elements Examples



Glass is a necessary material for an inviting storefront.



Façades of interior storefronts could reflect updated contemporary architectural styles.



Open pedestrian-level façades invite people in.



Illuminated glass storefronts create a sense of merged indoor/outdoor space.



"Main street" storefront design brings storefronts to the sidewalk.



Mixed-use façades distinguish between the commercial and residential components.

Figure 6-3: Mixed-Use Building Design Examples -



Live/work units



Lined/liner building conceal parking garages and are activated with ground-floor uses and upper-floor residences.



Traditional "Main Street" buildings are typically located fronting streets and up to the street sidewalk.



Vertical mixed-use

Figures 6-2 and 6-3. Residential building types that contain ground-floor nonresidential uses could be appropriate for a mixed-use development, including stacked flats.

- Live-work
- Lined building
- Traditional “Main Street” building
- Vertical mixed-use

Mixed Use – Delineation of Public and Private Space

Public spaces should be clearly recognizable as having attractive pedestrian-friendly and publicly accessible amenities. An overall theme and visual connection between spaces and uses should be provided within the development, including pedestrian linkages throughout the development and to adjacent land uses. Private spaces can be delineated using signage, decorative walls, or gates. To achieve this, the following provisions apply:

- Landscaping, ornamental walls, decorative iron-wrought fencing, and changes in elevation are the preferred forms of private area enclosure.
- Areas should be designed to encourage serendipitous social interactions. For spaces that can accommodate it, areas that provide relaxation, meditation, quiet, and solitude should be developed.
- Encourage year-round use through awnings, sunshades, landscaping, trees, and other enhanced structures that can

provide shelter from the elements.

MATERIALS AND FINISHES

A defined theme consists of a distinct architectural character, color, and form that reflect the diversity of uses, purpose, and the surrounding neighborhood. The choice of materials and execution of finishes define a building's character. Required use of high-quality materials should present sufficiently textured and legible detail to stimulate visual interest and provide durability. Figure 6-4 (Materials and Finishes) highlights examples of appropriate techniques and methods.

Craftsmanship/finishing

Application of materials and finishes shall demonstrate exemplary methods exhibiting skill and craftsmanship that may incorporate the following:

- Materials, color, and finishes should be used consistently and be appropriate to the intended architectural style of the building.
- Complimenting colors should be used for trims, windows, doors, and other key architectural elements.
- Finish materials should terminate only at changes in the wall plane and not on the same plane.
- Roof materials should complement the materials and colors of the façades and provide texture and/or relief.
- Rain gutters and downspouts should be enhanced and integrated into the façade. At a minimum, their color should blend

with adjacent surfaces. When applicable, gutters, sprouts, and other applicable drainage elements shall be concealed within the building walls.

- Any and all mechanical equipment, when applicable, shall be screened from public view.
- Trellises, architectural canopies, balconies, and other such design elements should derive their materials, colors, and form from the building design.
- Sustainable materials described as being able to reduce usage of or recycle energy, waste, and water use are highly desirable to be integrated into building design.

Materials

A mix of traditional and contemporary yet compatible materials is permitted on building façades. A combination of the following materials should be incorporated as listed below and shown on Figure 6-4 (Materials and Finishes):

- Stone or rock
- Brick (unglazed finish)
- Poured-in-place concrete or concrete block
- Fiber cement
- Plaster or stucco
- Painted or stained lap horizontal siding and vertical board
- Finished and painted wood trim
- Vertical gardens with vegetated building surface subject to landscape maintenance regulations

Figure 6-4: Materials and Finishes

Metals are only for small accents and trims, for example:

- Wrought iron, metal posts, frames, trellises, and canopies
- Painted aluminum, copper, and steel-framed windows and doors

Restricted Use of Specific Materials, Finishes, and Techniques

Unless approved through the appropriate site plan case architectural review process, the following materials, finishes, and techniques shall be restricted and may be prohibited from use on building façades, including single-family residential.

- Plywood, hardboard, and unfinished lumber,
- Synthetic stucco
- Glazing outside of fenestration
- Reflective materials and excessive glossiness
- Mimicking of otherwise authentic design elements using thin paneling such as applique, or stone veneer.
- Marble or marbling
- T-1-11 siding or similar materials
- Unfinished concrete masonry unit wall

Oversized cornices, porches, fenestration, or any other out-of-scale design or architectural elements and architecture that does not represent the City's 19th and 20th century architectural heritage shall be restricted.



Stacked stones, clay roof tiles, and stucco



Thematic architecture style and complementary materials and finishes.



Decorative pavers and iron-wrought gate



Well-executed wood fencing

6.6 WALLS AND FENCES

Walls and fences articulate property edges, and enclosures physically defines specific areas. They should be consistent with the architectural character of buildings and not interfere with pedestrian connections or permeability. Solid, continuous walls and fences are discouraged in commercial areas, unless needed for screening, to create a street edge, or for safety purposes. The design of walls and fences shall be enhanced and compatible with the primary architectural style used for buildings located on the project site and should not conflict with the theme/character of the surrounding vicinity. The following guidelines shall apply to wall and fence designs.

- Project design should avoid large expanses of blank border walls and fencing material and provide the highest level of articulation on all border walls visible from the public right-of-way.
- No wall or fence visible from the street should extend more than 25 feet horizontally without a visual break created by articulation and/or architectural detail in the wall plane facing the street. Articulation and detailing can include, but is not limited to, staggering of the wall, indentation of the wall, rhythmic spacing of columns, or a raised series of planters.
- Security fences, walls, and entry gates shall not block the sidewalk edge of a courtyard, plaza, paseo, or other ADA/pedestrian path of travel.
- Walls and fences should contain visually permeable elements such as, but not limited to, open rails, ironwork, and trellis

treatments.

- Walls and fences which face the primary right-of-way should be extensively landscaped to soften their appearance and create a more pleasing aesthetic.
- Chain link fences and barbed wire, unfinished block and all other similar types of materials shall be prohibited.

6.7 LIGHTING

Exterior building lighting provides visibility and safety and creates ambiance. Lighting can be used to enhance architectural details and landscape features, and to illuminate sidewalks, pedestrian paths, and plazas. The following principle shall be applied.

- Light fixtures and poles shall be architecturally compatible with the building's architectural style.
- Building entrances shall be well lighted with appropriately scaled light fixtures.
- Fixtures shall not cast light directly onto adjacent residential properties; a translucent or optical lens diffuser globe or shield is recommended.
- Architectural lighting should enhance a front building façade during twilight and night-time hours.
- Lighting accents should be incorporated into features such as doors, window openings, detail cornices, columns, landscapes, or arcades to create texture and form unique to the building.
- Stone and brick building façades can benefit from a "close-in" lighting approach

that grazes the light across the surface and calls attention to its textural quality by creating shadows.

- Lighting should distinguish the base, middle, and top of the building. This allows the building to be viewed from several different vantage points, both near and far from the structure, without looking unnatural.

Figure 6-5: Lighting



Shielded lighting



Indoor lighting for storefront windows



Landscape/accent lighting

Figure 6-6: Signs

6.8 SIGNS

The design of building signs is important for communicating information, reinforcing the architecture of the building, and contributing to the overall character of the West Valley area. Refer to Chapter 5 (Land Use and Development Standards) for specific sign standards. Figure 6-6 (Signs) show the types of allowed signs in the plan area. The following provisions shall apply to all new signs.

- Signs should reflect a crafted and detailed design approach.
- Sign shapes, type styles, and color combinations shall complement building styles and reflect the business they represent.
- Signs should reflect the uses they represent in creative and fun, as well as functional ways.
- Along pedestrian travel ways, signs should be wall mounted or suspended from awnings above the sidewalk. The use of high-quality blade signs is encouraged.
- Signs painted directly onto building walls shall generally be prohibited unless such signage is crafted to invoke a sense of history.
- Building-mounted signs shall be located on wall areas or architectural features specifically designed for signs, such as recessed wall areas, or permitted projections.
- All business/building identification signage shall be enhanced, e.g., reversed/halo illumination.



Awning signs



Blade signs



Wall sign with channel lettering



Artistically painted sign



Storefront window signs provide transparency



Temporary A-frame sign

6.9 PARKING LOTS AND STRUCTURES

Parking lots are one of the most visible components of a development, with extensive paved infrastructure to accommodate vehicles, such as parking stalls, striping, back-up spaces, drive-aisles, curb-cuts, and aprons. As such, the parking area is to be treated with the same high-quality design standards as other components of a development. Figure 6-8 (Parking Lots and Structures) identifies application of these design guidelines.

- Entrances to parking areas shall be enhanced with a decorative feature on the pavement at minimum of 10 feet in depth measured from the abutting right-of-way. Such enhancements should include, but are not limited to, pavers and stamped concrete.
- Parking lots shall be located in areas behind buildings and/or screened from adjacent street views. Planting areas with low hedges and shrubs (approximately three feet high) are required to assist in screening parking lots from public view where parking is adjacent to a street.
- Reciprocal access drives are encouraged wherever possible to link adjacent properties and avoid individual curb cuts for every use/parking lot.
- Parking access should be located as far as possible from street intersections in order to allow for adequate queuing and visibility.
- Pedestrian pathways placed within any parking areas that are clearly marked and designed with decorative pavers or similar treatment.

- Canopy trees shall be installed in parking areas to provide shade.
- The use of pervious paving materials, open pave blocks, and intermittent paving is encouraged to reduce the amount of runoff and retain water for on-site irrigation.

PARKING STRUCTURES

Parking structures, including parking garages, shall be integrated into the surrounding buildings' architecture, using architectural details to reduce the massing and landscaping to provide visual relief.

The following guidelines shall be implemented:

- Parking structures shall be located below, behind, or between buildings, as shown in Figure 6-7 (Illustrative Parking Design).
- All parking structures shall be designed to appear as a commercial building and be compatible with the surroundings when visible from public right-of-way.
- Access to parking garages shall be integrated into the overall design of the building façade and minimize disruptions along the street frontage.
- Architectural details and landscaped living walls shall be used on all parking structure to reduce the massing.

Figure 6-7: Illustrative Parking Design

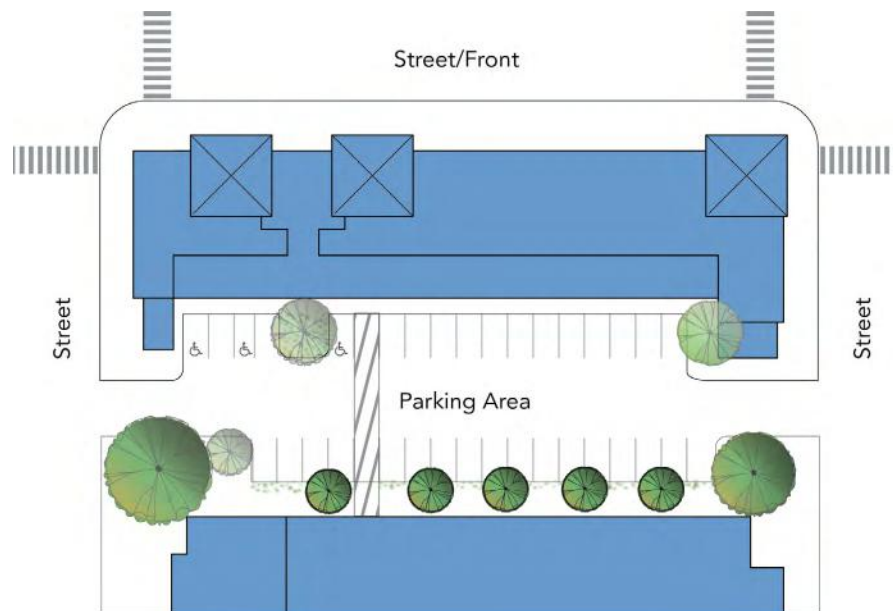


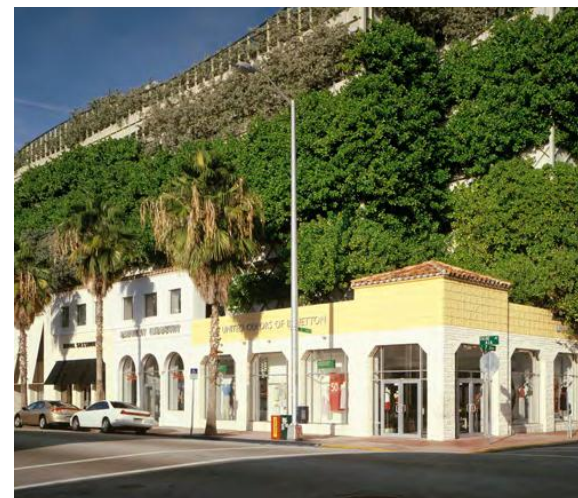
Figure 6-8: Parking Lots and Structures



Landscaped surface parking lot



Residential parking areas with garage doors compatible with architectural design



Lined building with ground-floor retail and living wall conceals the parking structure



Parking area shaded pedestrian pathway



Creative bike stalls



Storm water retention areas within a parking lot

6.10 LANDSCAPES AND OUTDOOR SPACES

A context-setting landscape plan shall be implemented within all setback areas surrounding the structures, amenity areas, public open spaces, pathways, and courtyards in conformance with the City's landscape regulations (Chapter 25, Article XVI, Division 1 [Water Efficient Landscaping] of the WMC) and the WVSP.

LANDSCAPING

Landscape design should be measured by its ability to integrate with site and building design and to make people notice the care given to choices of landscape materials. Figure 6-9 (Landscaping) displays images of landscaping appropriate in the WVSP area. All landscape plans shall respond to the following goals and objectives:

- Create green areas and enhance important public spots easily accessible to all in the community.
- Make sidewalks, walkways, driveways, amenity areas, and all pedestrian areas convenient, attractive, comfortable, and safe.
- Present visibly well-crafted structure and ordered layering capable of defining an area and the surrounding structures.
- Appear perceptibly "organic" as a plan represented by live plantings that respond to Walnut's seasons.
- Delineate a pleasant outdoor "living room" composed of comfortable seating areas, recreation, and landscaped environment for residents and visitors.

LANDSCAPE ARCHITECTURE

The landscape plan shall incorporate organic plantings and focused arrangements that express volume through layering. The architecture should integrate navigable hardscapes that enable residents or visitors to perceive the landscape's quality at various perspectives. Key areas for focused landscape design treatment are entrances, doorways, stairwells, and internal wayfinding signage.

SUSTAINABILITY

Landscape design shall minimize resource consumption. Materials considered should protect the natural environment from long-term harm. Hardscape materials shall be used which are long lived and use minimal energy in their manufacture and/or transport to the site, have high recycled content, and have minimal non-renewable material content.

The landscape palette shall allow for a high degree of water conservation. The irrigation system shall be designed to comply with Chapter 25, Article XVI, Division 1 (Water Efficient Landscaping) of the WMC.

OUTDOOR SPACES AND AMENITY AREAS

The WVSP creates a well-connected assemblage of private and publicly accessible outdoor spaces composed of parks, plazas, landscaped areas, and amenity areas. Each amenity-filled space will appear distinguishable, furnished liberally with "homey" elements intended to recreate an outdoor living room. Examples of outdoor spaces and

amenity areas preferred in the plan area are shown on Figure 6-10 (Outdoor and Amenity Areas). The location of these areas within a development site should be at the most visible areas, such as by the street frontages or adjacent to parking areas. When an outdoor space or amenity area is placed within the middle of a development, observance of high-quality design standards shall remain.



Attractive street trees



Outdoor "living room" takes advantage of Walnut's climate.

Figure 6-9: Landscaping



Planters as an accent or for space-constrained areas



Multilayered landscape architecture supported by groundcover and other low-lying plantings



Drought-adapted planting and landscape architecture are compatible with Spanish-style traditional design.



Living or "green" walls



Residential courtyard with recreational components

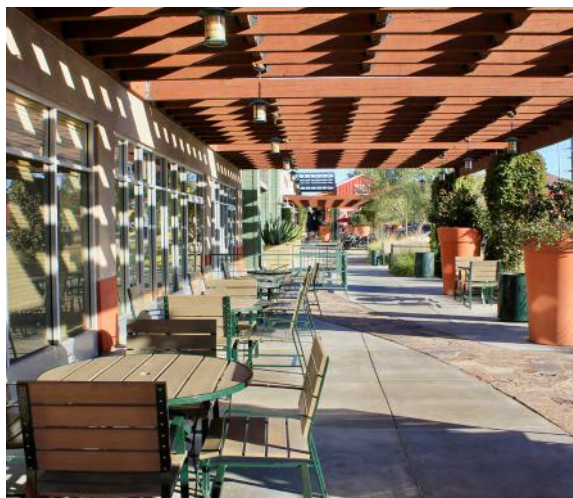


Water features

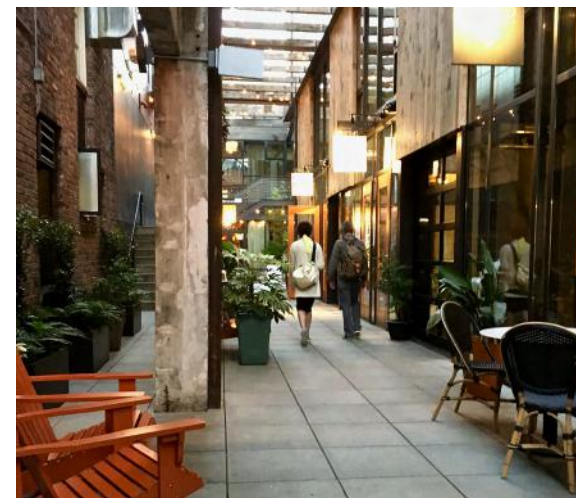
Figure 6-10: Outdoor and Amenity Areas



Landscaped outdoor area



Shading is necessary in active outdoor areas



Covered arcade with seating and indoor storefronts



Umbrellas and planters to integrate a comfortable outdoor seating area with the surrounding street



Outdoor area enclosed by planters



Unenclosed outdoor areas

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7

Implementation Plan

7

Implementation Plan

INTRODUCTION

This implementation chapter defines the programs, actions, and strategies needed to spur development and investment. To achieve the goals and vision outlined throughout the plan, these focus on a variety of financing mechanisms and project-specific funding priorities. The implementation approach includes recommendations designed to improve the physical environment for West Valley and create an environment that catalyzes private investment.

Implementing this WVSP will require a collaborative effort between the public and private sectors to collectively achieve the vision. A significant portion of new investment and construction will need to be made by private sector developers, entrepreneurs, investors, and property owners. The City's responsibility is to offer mechanisms to facilitate private investment while at the same time coordinate and encourage parallel and complementary investment in the public realm.

Due to uncertainties about future economic conditions and trends, the City may need to periodically revisit and reprioritize the implementation steps for revitalizing West Valley. These tools and funding mechanisms are created with the understanding that market shifts and varying economic conditions require flexibility to accommodate new development and facilitate additional investment.



7.1 APPLICABILITY AND INTERPRETATION

Any ambiguity concerning the content or application of this WVSP shall be resolved by the Community Development Director or upon referral, the Planning Commission.

7.2 ADMINISTRATION

This WVSP implements the General Plan for the West Valley area and establishes the zoning regulations for the WVSP area. The WVSP shall supersede the regulations of Chapter 25 Article V. Mixed Use/Housing Opportunity Overlay Zone of the WMC that applies to the area. The WVSP addresses general provisions, permitted uses, development and design standards, design guidelines, mobility improvements, and infrastructure. All development proposals within the WVSP area are subject to the procedures established herein.

ENVIRONMENTAL REVIEW

This WVSP has been reviewed pursuant to the California Environmental Quality Act (CEQA) via the General Plan Program Final Environmental Impact Report. Certain projects may require additional specific environmental review as per CEQA, such as targeted studies on one or more identified environmental concerns. The City will make these determinations at the time applications for individual projects are processed and direct what additional review, if any, is required.

REVIEW AND APPROVAL PROCESS

All projects proposed within the WVSP area shall conform with the provisions of this WVSP. Chapter 25 Article XXIII (Procedure Generally) of the WMC sets forth development review requirements and process for approval and appeal of projects subject to this WVSP.

Procedures for developments to implement density bonus requirements is established in Chapter 25 Article XXVIII (Density Bonus for Affordable Housing Developments) of the WMC.

AMENDMENTS

Minor modifications to the WVSP, as set forth below, shall be processed administratively without the submission of a formal WVSP amendment application. The Community Development Director shall have the authority to review and make a determination of approval, approval with conditions, or denial of a request for minor modification to the WVSP. The Community Development Director may, at his/her discretion, refer any such request to the Planning Commission subject to the requirements of Chapter 25 Article XXIII (Procedure Generally) of the WMC.

Minor modifications subject to administrative approval shall apply to:

- Design guidelines for architectural features and materials, landscape treatments, lighting, and signage

- Revisions to bike lane locations and roadway lane and pedestrian passageway widths
- Modifications to the text or exhibits of this WVSP to permit land uses not specifically addressed but similar in character to permitted uses
- Modifications to entitlements approved under the WVSP specific to site and architectural design and operations
- Revisions to the Implementation Action Plan.

Proposed changes to this WVSP that do not meet the criteria for a minor modification shall be subject to a WVSP amendment process pursuant to Walnut Code and California Government Code Section 65450, et seq. All WVSP amendments must be consistent with the Walnut General Plan in compliance with Government Code Section 65454. The WVSP may be amended as often as deemed necessary by the City Council in compliance with Government Code Section 65453.

ADMINISTRATIVE ADJUSTMENTS

The Administrative Adjustment review process permits limited exceptions to certain development standards. A property owner or authorized agent of the property owner shall file an Administrative Adjustment application whenever any one of the following deviations from the provisions of this WVSP is proposed.

1. **Required Commercial Storefronts.** Reduction not to exceed 50 percent in the required commercial storefront standard.
2. **Parking Spaces.** Adjustment in the number of required parking spaces by 15 percent or less. Shall not be combined with parking reductions outlined in Table 5.2a of Chapter 5 (Land Use and Development Standards) or density bonus reduced parking incentive.
3. **Setbacks.** Reduction or elimination of the required minimum and/or maximum setbacks by up to five percent.
4. **Other Standards.** A reduction or increase in any other numeric development standard, excluding density or height, not exceeding 10 percent.

PLANNING COMMISSION AND CITY COUNCIL REVIEW

The Planning Commission shall review and approve alteration of a Certificate of Occupancy for an approved conditional use permit or any other entitlement approvals that required and continue to require Planning Commission approval subject to the provisions of the WMC and the WVSP.

The City Council shall review and approve alteration of a Development Agreement and any other agreement adopted by Ordinance or City Council Resolution.

7.3 SEVERABILITY

If any section, subsection, sentence, clause, phase, or portion of this WVSP, or any future amendments or additions, is for any reason held to be invalid or unconstitutional by the decision of any court or competent jurisdiction, such decision shall not affect the validity of the remaining portions of this WVSP or any future amendments or additions.

7.4 NONCONFORMITIES

Any existing use or building that becomes nonconforming as a result of this WVSP shall comply with all rules and regulations set forth in Chapter 25, Article XXI (Nonconforming Lots, Buildings and Uses) of the WMC.

7.5 FUNDING AND FINANCING

The WVSP is focused on promoting economic development, physical improvements, complete streets, housing, and commercial retail choices for one of its oldest neighborhoods. The multi-faceted WVSP covers a broad range of solutions, context, uses, and objectives to address diverse challenges and to achieve general and specific goals of the City. The approach opens a range of funding sources and financing options for infrastructure development and continuous maintenance of West Valley properties. Walnut’s structure of fiscal governance contracts out almost all the provisions of infrastructure service, construction, and maintenance to either the County of Los Angeles, the Lighting and Open Space Maintenance District

(LOSMD), and private agencies. Ensuring continuous cost-effective relationships between contracted service providers and the maintenance of fiscal health of existing assessment districts will help with overall funding and financing strategies for the area.

The term “funding” refers to a revenue stream, whether from a tax, fee, grant, or other revenue source, that generates money to pay for an improvement. “Financing” (or “debt financing”) refers to the mechanisms used to manipulate available revenue streams so that agencies are able to provide infrastructure immediately, before revenue, equal to the full cost of that infrastructure, is available.

GENERAL FUND

The General Fund is the primary or catch-all fund of a government, government agency, or nonprofit entity. It records all assets and liabilities of the entity that are not assigned to a special purpose fund. It provides the resources necessary to sustain day-to-day activities and thus pays for all administrative and operating expenses. The City’s annual budget specifies expenditures on specific programs, including its five-year Capital Projects. The Capital Projects identifies projects by category along with funding sources, much of which are not funded through the General Fund, but through revenues from specific funds that fund specific spending.

DEVELOPMENT BASED

The City of Walnut ensures the fair-share cost of infrastructure improvements through the application of mitigation fees, conditions of approval, development agreements, and development impact fees. These are in addition to exactions in the form of physical improvements such as the dedication of right-of-way for streets and utilities; provision of open space, parks or landscape improvements; and community facilities.

The City may also enter into a Development Agreement with a developer, pursuant to Section 65864 of the Government Code, to achieve mutually agreed-to improvements and community benefits.

7.6 FUNDING AND FINANCING

OBJECTIVES

These objectives shall guide the City in securing the efficiency and resiliency of West Valley's infrastructure and public services.

FAIR SHARE

Continue to require that development fund the fair-share cost of infrastructure and public services upgrades and maintenance.

REGIONAL COORDINATION

Ensure regional providers adequately plan for and fund West Valley area public services and infrastructure.

GENERAL PLAN

Ensure that developments and applicable City plans are consistent with the General Plan, and implement the most appropriate goals and policies of the Land Use and Community Design Element, Circulation Element, and Community Facilities and Infrastructure Element.

MIXED-USE COMMERCIAL STRATEGIES

The vision of the WVSP, and the attendant land use regulations, embrace the mixed-use type of developments that blend residential and commercial uses. The WVSP Land Use and Development Standards reinforce the planned mixed-use character of West Valley. While in any short-term period the market demand for residential uses may exceed demand for neighborhood-serving retail

and service uses within a mixed-use project, the City is committed to the long view and creation of a truly mixed-use district. Other challenges are inherent to mixed-use developments, and these include higher and tighter financing standards from lenders, excessive and uneconomical parking requirements, and higher construction standards.

Leasing incentives

Leasing incentives must be directed toward the uses that enliven the commercial portions of mixed-use projects, such as neighborhood-serving uses with storefront and active pedestrian character.

The City, developers, and businesses are encouraged to work together to promote programs and policies to prevent or fill in tenant space vacancies. The City will aggressively address speculative-driven long-term vacancies and require mitigative actions on the part of property owners when a site exhibits blighted conditions. For leasing managers or developers, enticing benefits for small businesses could include, but are not limited to:

- Prioritizing a portion of commercial space for qualifying small business tenants
- Creating commercial space that is appropriately sized for small businesses
- Reduction in rent
- Provision of tenant improvements
- Take advantage of small, temporary, and sharing arrangement of tenant spaces as

permitted by the WVSP

Business-friendly processes

The City could explore, in conjunction with other policies and programs already identified in the WVSP, to pursue the following:

- **Fast Track Permitting.** Reduce permitting requirements for qualifying small business projects determined to be “light” in impact.
- **Expand Technical Assistance.** Technical assistance can range from guidance on developing business plans, networking events, and guidance around designing tenant spaces for small businesses.

Brick-and-mortar storefronts

“Brick-and-mortar” storefronts have a challenging future. As other retail and service venues such as online purchases rise, retail is often a loss leader in a development project, meaning that developers hope that retail spaces can be at least revenue neutral and support an overall project that is financially feasible based on the rents achievable in the residential units in the building. To incentivize commercial leasing as a result of local and macro-economic issues, development bonuses may be applied individually or in combination. Any proposed incentives must be balanced with other existing requests for incentives such as green buildings and affordable housing. The WVSP allows the City to enter into a Development Agreement

with developers to secure the viability of neighborhood-serving commercial uses within mixed-use projects.

REGIONAL AND STATE GRANTS

The City may pursue State and Federal grant opportunities. Because grant programs are typically competitive, grant funds are an unpredictable funding source. These programs change over time depending on funding availability, and the City should include grant-writing as one of the skills (or contracted services) at its disposal. This might include State programs, such as:

- The Affordable Housing and Sustainable Communities (AHSC) Program administered by the Strategic Growth Council. The ASHC is intended to “reduce greenhouse gas emissions through projects that implement land use, housing, transportation, and agricultural land preservation practices to support infill and compact development.”
- Active Transportation Program (ATP) administered by the California Transportation Commission and Caltrans. The ATP is intended to increase the proportion of trips accomplished by biking and walking. The City could coordinate with regional partners such as the San Gabriel Valley Council of Governments, or non-profit organizations, to seek fiscal support to plan and fund bikeway and pedestrian improvements along West Valley’s portion of Valley Boulevard.

- California Urban Rivers Grant Program administered by the California Natural Resources Agency. The program is intended to fund “green infrastructure that conserves water, buffers climate change impacts, improves water quality, water supply, public health, reduces greenhouse gas emissions, and energy demand, restores, and protects rivers, creeks and streams including the acquisition of resource lands.” As needed, the City could include the Lemon Creek portion of West Valley as a part of a larger city-wide or regional applications.

A number of regional funding sources include:

- The Sustainability Grant Program administered by the Southern California Association of Governments (SCAG). This program is intended to fund active transportation, integrated land use (such as sustainable land use and transit-oriented development projects), and green region initiatives (such as green street plans). The WVSP lays out multiple sustainability measures for West Valley.
- Multi-funding Call for Projects administered by the Los Angeles County Metropolitan Transit Authority funded through various sales tax measures, including Propositions R, and C, and Measure M.

CALIFORNIA I-BANK

The Infrastructure State Revolving Fund Program offered by the I-Bank (Infrastructure and Economic Development Bank) offers loans ranging between

\$250,000 to \$10,000,000, with eligible repayment sources including General Fund revenue, and property assessments. The funds can finance development of infrastructure and public facilities, job creation activities, relocation, and environmental remediation assistance.

COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM

Federal funding through the Community Development Block Grant (CDBG) program is used by the City for its Housing Rehabilitation Program for existing qualifying residents with a single-family residence. To finance projects and programs with broader aims consistent with the WVSP, such as the development of infrastructure and public facilities, job creation activities, and relocation and environmental remediation assistance, Section 108 Loans could be applied for. The Countywide Section 108 Loan Program is a \$30 million pre-approved pool of loan guarantee authority available to participating cities in the Los Angeles Urban County CDBG Program. The City participates in the regional Los Angeles Urban County CDBG Program. The Countywide Section 108 Loan Program was established through an application to the U.S. Department of Housing and Urban Development (HUD) that allows the CDC to process loans more quickly than applying directly to HUD for individual project funding. The area must be income-qualified per HUD standards.

LAND-BASED FINANCING

In California, the most commonly used land-based financing tools have included the formation of benefit assessment districts, community facilities districts, and prior to the dissolution of development in California, tax increment financing (TIF) districts. However, in Walnut, benefit assessment districts fit the WVSP's needs and are compatible with City practices. State legislation enabling infrastructure financing districts to replace the loss of Tax Increment Financing (TIF) based redevelopment agencies can be explored for the WVSP area as well.

Business Improvement District (BID)

A BID is a public/private partnership created to perform marketing, provide a variety of enhanced services, and complete minor capital improvements to improve commercial neighborhoods. The BID allows the governing body (City Council) to levy an additional tax on property owners or businesses within a designated area and to utilize the revenues for improvements and programs, subject to a majority vote of the property owners or business owners, within the proposed district. Establishing a BID is voluntary. A BID can perform a variety of activities including, but not limited to:

- Improvements, such as the acquisition, construction, installation, or maintenance of any tangible property with an estimated useful life of five years or more, including, but not limited to parking facilities, benches, trash receptacles, street lighting,

decorations, parks, and fountains.

- Activities, including, but not limited to, the following: 1) promotion of public events which benefit businesses in the area and which take place on or in public places within the area and 2) activities which benefit businesses located and operating in the area.

Vehicle Parking Districts

To finance the cost of building and operating public parking facilities, vehicle parking districts are common solutions. District activities may include the acquisition of land; the maintenance, improvement, and construction of parking lots, structures, and related facilities; and employee salaries. A district is initiated by the petition of landowners, and requires a landowner vote for approval. Once formed, the districts are managed by an appointed commission. Costs are normally financed through the assessment of properties within the district based upon the benefit that each property will receive from the parking improvement. Communities may also issue bonds to fund costs.

Landscape and Lighting Districts

Assessment districts provides financing for local public facilities and services, such as street improvements, water infrastructure, wastewater infrastructure, drainage, electricity, schools, parks, and police protection. Two-thirds voter approval is required to establish assessment districts. Walnut's Landscape and Open Space Maintenance District No. 1 (LOSMD) encompasses 369 acres within

Walnut. The LOSMD is divided into 12 zones, and all of West Valley is Zone 11. LOSMD is a category of assessment district, Landscaping and Lighting Districts (LLD), where tax revenues preserve a community-wide aesthetic and design elements. LOSMD funds are used for installation, maintenance and servicing of landscaping, and lighting through annual assessments on benefiting properties. An LLD also may provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. They also may be used to fund and maintain parks above normal park standards as maintained through General Fund revenues.

Infrastructure Financing Districts (IFDs)

IFDs use a property tax increment to pay for infrastructure improvements. New tax revenues are diverted to finance improvements, although IFDs cannot divert property tax increment revenues from schools. Under existing California law, a city or county may create IFDs by Ordinance, if a two-thirds majority of voters in the proposed district approves the IFD.

Enhanced Infrastructure Financing District (EIFD)

An EIFD is created and used to finance the construction or rehabilitation of public infrastructure and private facilities. An EIFD may fund these facilities with the property tax increment of taxing agencies (such as cities, counties, special districts,

but not schools) that consent. An EIFD is overseen by a Public Financing Authority (PFA) that is comprised of members of the legislative body(s) of the participating affected taxing entity, plus two members of the public.

7.7 MAINTENANCE

The maintenance of the physical quality of West Valley's public areas is provided by the City of Walnut, supplemented by private area businesses. Street sweeping is on a weekly basis, and the City contracts the service through a private company. Request for street repairs, street lights, street signs, stop signs, and permit parking areas are processed by the City's Public Works Department. The LOSMD oversees the landscape maintenance, rodent control, and weed abatement contractors within the LOSMD. The City's Community Services ensure protection of City-owned/maintained trees.

7.8 IMPLEMENTATION ACTION PLAN

The City will need to undertake a series of specific policy and regulatory actions to fully implement the WVSP. Implementation will require collaboration with local businesses, partner jurisdictions and agencies, and the City's own Development and Community Services Departments. The Implementation Action Plan summarizes each action and provides a priority timeframe, primary

responsibilities and partners, approximate costs, and potential funding sources. This Implementation Action Plan will be used by the City throughout the life of the WVSP and should be periodically reviewed and updated to reflect conditions as they change over time.

The City will make continued progress toward improving the project area's development readiness through this WVSP, pursuing individual project opportunities, and supporting on-going re-tenanting and property reinvestment activity. Approval of the WVSP itself represents one of the most important steps toward revitalization because doing so provides the guidance, certainty, and authority needed to induce further private sector investment. The key illustrated below, represents estimated costs identified in Table 7-1: Implementation Action Plan is generalized as follows:

Cost
\$ = <\$50,000
\$\$ = \$50,000 TO \$250,000
\$\$\$ = OVER \$250,000

Table 7.1: Implementation Action Plan

Specific Actions	Primary Responsibility/Partners	Cost
<p>Action 1. Update City documents for consistency with WVSP</p> <p>Revise sections of the WMC and the Zoning Map to be consistent with the WVSP. This includes revising Chapter 25, Article V. (Mixed Use/Housing Opportunity Overlay Zone) of the WMC to refer to the WVSP when referring to the MU/HOO-1 Overlay. Revise Zoning Map to WVSP, and include the land use districts in the plan.</p>	City of Walnut and contracted service providers	\$
<p>Action 2. Identify infrastructure needs</p> <p>Propose public improvements and identify funding mechanisms to support new infrastructure improvements within the WVSP Area. Include any operations- and maintenance-related financing actions in conditions of approval or Development Agreement terms for new development projects, as applicable. Require annexation of new developments in the WVSP area to the Lighting and Open Space Maintenance District No. 1.</p>	City of Walnut and contracted service providers. Lighting and Open Space Maintenance District No. 1	\$
<p>Action 3. Develop an infrastructure financing and maintenance plan</p> <p>Complete cost estimates for all proposed public improvements, and identify funding mechanisms to support new infrastructure improvements within the WVSP area. The optimal financing plan will likely include a number of complementary tools.</p>	City of Walnut and contracted service providers. Lighting and Open Space Maintenance District No. 1	\$
<p>Action 4. Flexible business operations and regulations</p> <p>Implement flexible administrative procedures and use regulations that allow development proposals in the WVSP area to make operational changes consistent with the vision of the WVSP with minimal discretionary City approval. Actively support desirable projects through achievable customer service models and goal-oriented project management.</p>	City of Walnut Community Development Department, and Economic Development Team	\$
<p>Action 5. Capital Projects</p> <p>Identify applicable capital improvements from this WVSP in the Capital Projects and update based on priorities outlined in this Implementation Plan with each budget cycle.</p>	City of Walnut Community Development, and Community Services departments	\$

Table 7.1: Implementation Action Plan (Continued)

Specific	Actions	Primary Responsibility/Partners	Cost
Action 6. Encourage viability of mixed-use projects Allow for flexibility in the design and operations of mixed-use projects, particularly with regard to shared parking arrangements and integrated open space areas.		City of Walnut Community Development Department	\$
Action 7. Identify and acquire grant funding Research and apply for federal, state, regional, and non-governmental organization grant funding programs that offer funding for improvements, studies, planning, and other types of supportive programs that include West Valley and further the vision of the WVSP for the area.		City of Walnut Community Development Department	\$
Action 8. Positive business climate marketing Aggressively market the WVSP's strong competitive location as a gateway along one of the region's key arterial roads. Secure new business opportunities focused on the type of economic development that furthers the vision and transformative strategies of the WVSP.		City of Walnut Community Development Department and City Manager's Office	\$\$
Action 9. Land assembly programs Continue to implement policies that ensure the viability of properties to develop up to the designated intensity limits and according to the goals of this WVSP. Require lot ties and mergers and removal of non-conforming lot status prior to the issuance of building permits and changes of use. Provide an inventory of substandard lots, and pursue furthering current policies and programs that ensure the elimination or repurposing for public purpose of undevelopable lots.		City of Walnut Community Development Department	\$
Action 10. Monitor and report on developments Monitor and periodically report on the amount of developments that occur under the WVSP, including the number of residential units and non-residential (commercial, industrial, others) entitled, under construction, and completed.		City of Walnut Community Development Department	\$

Specific	Actions	Primary Responsibility/Partners	Cost
Action 11. Activate West Valley placemaking	Incorporate West Valley in to the City's current and planned event activities using the available community assets such as the Norman Ashley Park, the Lemon Creek trailhead, the alley, large vacant parking areas, and the vacant Castlehill lots. Program activities with the purpose of marketing the area to attract local and neighborhood-serving businesses and events. Encourage the use of public or publicly-prominent artwork such as murals, signage, and interactive installations to activate placemaking.	City of Walnut Community Development Department and Community Services Department	\$\$
Action 12. Improve pedestrian crossings	Improve pedestrian crossings at key intersections as identified in the WVSP.	City of Walnut Community Development Department	\$\$\$
Action 13. Bicycle connectivity	Continue to develop and implement bicycle improvements in West Valley as identified in the Circulation Element of the General Plan. Continue to advocate for support for bikeway connections through Valley Boulevard to access the planned San Gabriel Greenway network.	City of Walnut Community Development Department	-\$\$\$
Action 14. Storm water mitigation improvements	Implement storm water management and pollution controls within West Valley. Seek cost-efficient methods to reduce the large number of impervious surfaces currently in the area. Strive for public rights-of-way to be multipurpose to accommodate "green street" principles that help capture, filter, and infiltrate storm water before entering waterways.	City of Walnut Community Development Department	\$\$- \$\$\$
Action 15. Annexation of Sphere of Influence	Plan for the incorporation of County of Los Angeles territory located parallel to the WVSP border as a key action in ensuring multiple WVSP objectives are achieved.	City of Walnut and County of Los Angeles	-\$\$\$

Table 7.1: Implementation Action Plan (Continued)

Specific	Actions	Primary Responsibility/Partners	Cost
Action 16. Valley Boulevard traffic improvements	Identify strategies for Valley Boulevard traffic improvements that improve active transportation efficiency and connectivity. Multimodal traffic signals and new turn lanes should be implemented to address existing needs of Valley Boulevard traffic improvements.	City of Walnut, County of Los Angeles, City of Industry, and City of West Covina	\$-\$
Action 17. Form a business improvement district (BID)	Work with business and property owners to establish a BID that will help market the district and provide maintenance and/or other desired functions.	City of Walnut Community Development Department and City Manager's Office	\$\$\$
Action 18. Annexation into Lighting and Open Space Maintenance District No. 1	Consider annexing new developments into the Lighting and Open Space Maintenance District No. 1.	City of Walnut Community Development Department	\$
Action 19. Gateway and community signage	Design and install gateway entry signage, banners, and other visual graphics at the entry points to the WVSP area. Adopt a stirring but uniform visual wayfinding program that identify the area as West Valley, and as part of the City of Walnut. Signage should point to existing and planned landmarks such as the park and Lemon Creek. Other signage opportunities to consider include distinctive pavement markings on the crosswalk and sidewalks and plaques to identify and commemorate local assets.	City of Walnut Community Development Department	\$\$

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General Plan Consistency

A

General Plan Consistency

INTRODUCTION

Pursuant to Sections 65450–65457 of the Government Code, the WVSP has been developed to ensure consistency with the Walnut General Plan. The WVSP carries out the General Plan vision of creating compact business and commercial districts with flexible land use regulations that can accommodate evolving trends and local demands.

A.1 LAND USE AND COMMUNITY DESIGN ELEMENT

The WVSP embodies the following key development themes discussed in the Land Use and Community Design Element.

West Valley Mixed Use

The WVSP creates three mixed-use zoning districts. As set forth in the Land Use Element for the West Valley Mixed Use designation, a cap of 28 dwelling units per acre and a maximum building height of three stories have been established.

Chapter 7 (Land Use and Development Standards) allows for uses consistent with the General Plan designation; these include neighborhood- serving commercial (retail, offices, personal services, restaurants, entertainment, recreation, and handicrafts), a range of residential types, and mixed-use development.

Table A.1: General Plan Consistency - Goals and Policies

LAND USE AND COMMUNITY DESIGN	
Goal LCD-1:	A balanced community with a mix of land uses that supports thriving businesses, all modes of transportation, complete neighborhoods, and healthy lifestyles
Policy LCD-1.2: Mixed-Use Zones	Create use regulations and development standards for new mixed-use Zones that correspond to the mixed-use land designations. Ensure that the Zones support goals for accommodating a variety of revenue-enhancing activities that support a sustainable combination of retail, office, professional services, residences, institutional, academic-affiliated institutions, and innovative industrial business that will sustain value-added services and the maintenance of the existing infrastructure. Specifically address compatibility issues that may be associated with mixed-use projects.
Policy LCD-1.5: Sustainability	Promote land use and development projects that demonstrably reduce greenhouse gas emissions, water usage, and electricity and natural gas demand.
Policy LCD-1.7: Transitional Areas	Require developments in Mixed Use areas to incorporate pedestrian walkability/ connectivity and to minimize and gradually reduce structure size and scale, activity intensity, and density closer to predominantly low-density residential neighborhoods.
Policy LCD-1.8: Housing Choices	Encourage a variety of housing choices, including live/work units, courtyard housing, and mixed-use buildings with vertical and/or horizontal residential types.
Policy LCD-1.9: Neighborhood-Serving Commercial	Promote opportunities for smaller neighborhood-serving commercial uses as part of having complete neighborhoods. Such opportunities can include sit-down restaurants, local retail, public spaces within shopping centers, and neighborhood-oriented retail areas that provide goods and services to support daily life.
Goal LCD-3:	Successful commercial and industrial businesses that provide opportunities for local employment and contribute to a strong local economy
Policy LCD-3.1: Vibrant Commercial Centers	Promote the revitalization, upgrading, and beautification of commercial retail centers and the conversion of strip commercial areas to coordinated, complementary retail and service uses.
Policy LCD-3.4: Pedestrian-friendly Environments	Accommodate outdoor cafes and neighborhood-serving uses as a means of promoting pedestrian activity and commercial center vitality. Ensure that access and noise considerations relative to surrounding uses are sufficiently addressed.

LAND USE AND COMMUNITY DESIGN (continued)	
Goal LCD-6:	Strategically located and dynamic mixed-use environments that offer neighborhood-serving amenities, new and emerging housing types, and engaging public spaces.
Policy LCD-6.1: Mixed Uses	Encourage mixed-use development where appropriate within the City.
Policy LCD-6.2: Mixed Use Commercial Component	Require that new mixed-use development projects include a substantial viable, commercial component. Consider innovative incentives and startup funds to help improve long-term longevity of commercial uses.
Policy LCD-6.3: Mixed Use Street Interface	Ensure development enhances pedestrian activity by providing active uses, walkability, and connectivity within mixed-use districts. Include appropriate design features along a majority of the building street frontage, within residential areas. Residential developments should include architecturally enhanced main entrances, lobbies, front stoops and porches, open space and other similar features.
Policy LCD-6.4: Mixed-Use Building Transition	Provide design and development standards that require mixed-use buildings to be moderately scaled to transition to the scale of the surrounding area. Setbacks, landscaping, and/or building transitions should buffer abutting single-family residential areas, and all development lighting should be mitigated to not negatively affect adjacent uses.
Goal LCD-7:	Community character that reflects Walnut’s distinctive small-town identity and character.
Policy LCD-7.5: Pedestrian Scale	Maintain a pedestrian scale for new development. Require that non-residential development provide amenities that promote pedestrian activity and community gathering.
Policy LCD-7.6: Residential Pedestrian Scale	Require pedestrian-scale improvements for new residential developments and large additions, such as but not limited to, front porches and placement or orientation of the garage away from the street. Where feasible, the use of garage doors should not be the dominating architecture feature from a public right-of-way.
Policy LCD-7.7: Streetscape Design	Maintain streetscape design programs for commercial and mixed-use district frontages that create vibrant places which support walking, bicycling, transit, sustainable economic development, and overall connectivity.

Community Design

The WVSP includes a comprehensive approach to urban design characterized by pedestrian orientation, mixed uses, sustainable infrastructure, appropriately scaled architectural styles, streetscapes, and maintaining and expanding Walnut’s community forest.

Street Interface and Building Transition

Consistent with the Chapter 6 (Design Guidelines) and Chapter 5 (Land Use Development Standards) of the WVSP, developments are required to provide amenity areas to implement a variety of pedestrian-scale features such as plazas, paseos, kiosks, and exterior seating/dining, tables, sheltered benches, drinking fountains, stoops, courtyards, bike racks, shade elements, covered arcades, gardens, courtyards, frontages, and small refuse receptacles. Engagement with the street is encouraged through minimal frontage setbacks and locating parking areas behind buildings.

WVMU-3 Transitional Residential Mixed-Use serves as a buffer to the single-family residential uses north of Camino de Rosa. Development intensity, setback standards, and allowed uses within this area are more restrictive than the other two mixed-use zones to promote neighborhood compatibility.

A.2 CIRCULATION ELEMENT

The WVSP Mobility Plan outlines strategies to implement a cohesive “Complete Streets” program in West Valley. Pedestrian and bicycle infrastructures such as trail connections, crosswalks, bicycle lanes, and bicycle parking are accommodated throughout the Plan area. Standards set forth in Chapter 5 (Land Use and Development Standards) and Chapter 6 (Design Guidelines) ensure pedestrian- and bicycle-friendly urban design. Targeted improvements to help vehicular travel will occur on rights-of-way identified in the Mobility Plan. Developments are required to provide adequate vehicular parking spaces and loading areas to meet the needs of the specific use.

LAND USE AND COMMUNITY DESIGN (continued)	
Goal LCD-8:	High-quality and traditional design for all new development
Policy LCD-8.1: Enhanced Design	Require architectural design treatments that encourage Walnut’s small-town, rural character and that can incorporate a mix of traditional and/or newer design themes, styles, and high quality materials.
Policy LCD-8.4: Landscape Design	Develop specialized landscape and design treatments for entryways, intersections, parks, districts and neighborhoods, and public areas.
Policy LCD-8.5: Outdoor Spaces	Require new development to provide engaging, well-landscaped outdoor spaces that invite and support outdoor activities for residents, especially areas viewed or accessible by the public.
Policy LCD-8.6: Neighborhood Character Elements	Identify positive neighborhood character elements, and use these design features as design drivers for new development.
Goal LCD-9:	A built environment with development approaches that apply sustainability principles
Policy LCD-9.3: Sustainable Building Features	Require that development incorporate sustainability, including features that minimize energy and water use, limit carbon emissions, provide opportunities for local power generation and food production, and provide areas for recreation.
CIRCULATION	
Goal C-1:	Streets that are designed and operated to enable safe access for all users, including pedestrians, equestrians, bicyclists, motorists, and transit riders of all ages and abilities.
Policy C-1.1: Complete Streets	Pursue and implement Complete Streets strategies to accommodate all users of different ages and abilities.
Policy C-1.2 Context Sensitive Approach	Pursue context sensitive Complete Streets strategies that recognizes the City’s established rural character and geographic complexity.
Policy C-1.7: Multimodal	Use available public rights-of-way to provide wider sidewalks, bicycle lanes, trail facilities, and transit amenities.
Goal C-3:	Integrated and accessible trail system.
Policy C-3.1: Increase Access and Maintain Trail System	Maintain and explore the possible expansion of the trail system as an integrated part of the transportation system that will eventually connect neighborhoods, major facilities, and new developments.

CIRCULATION (continued)

Policy C-3.3: Multimodal Connections	Align trailheads with planned multimodal terminals and stops.
Policy C-3.5: Regional Partnerships	Seek to partner with regional governments and community groups to identify opportunities to expand the City and regional trail systems.
Goal C-4:	Connected pedestrian, and bicycle network.
Policy C-4.3: Desired Improvements	Enhance pedestrian and bicycle crossings and pathways at key locations across physical barriers such as creeks, highways, and road barriers.
Policy C-4.5: New Developments	Encourage to the greatest extent possible that new developments increase connectivity through direct and safe pedestrian and bicycling connections to the established network.
Policy C-4.6: Parking Lot Pathways	Require that parking lots include clearly defined paths for pedestrians and bicyclists to provide a safe access to building entrances and to surrounding public sidewalks.
Goal C-5:	Efficient, frequent, and convenient transit system.
Policy C-5.2: Transit Amenities	Require that development projects include amenities to support public transit use, such as bus stop shelters, space for transit vehicles, and pedestrian amenities (trash receptacles, signage, seating, and lighting).
Goal C-6:	Reduction in total vehicle miles traveled to help improve local air quality and reduce greenhouse gas emissions.
Policy C-6.4: Green Streets	Encourage "green street" strategies to improve storm water quality and protect the environment, including local creeks.
Goal C-7:	Provision of parking that meets evolving demands and vehicle usage
Policy C-7.1: Parking Standards	Ensure that required loading and parking spaces continue to be responsive to existing and forecasted demand. Revise standards accordingly to maintain equilibrium between parking supply and demand. Discourage reducing parking requirements unless a parking study indicates that the supply requested is supported by demand.
Policy C-7.2: Parking Screening	Minimize the appearance of parking lots and structures as viewed from public rights-of-way and gateways.
Goal C-8:	Sustainable revenues to fund transportation improvements and maintain existing network.

A.3 CONSERVATION, OPEN SPACE, AND RECREATION ELEMENT

The WVSP protects parks and open space resources through the Parks/Open Space designation placed on Norman Ashley Park and a portion of Lemon Creek trail.

The Development Plan outlines the provision of green infrastructure to protect the quality of water that flows through the area and into adjacent waterways. Specific Plan provisions for additional greenery in the form of streetscaping and landscaping requirements, and active spaces within amenity areas, implement several goals and policies of the element.

CIRCULATION (continued)	
Policy C-8.2: Impact Fees	Ensure that the City's Impact Fees provide adequate funding for necessary transportation improvements that will benefit all travel modes, while also incentivizing development that is less dependent on expensive, new transportation
Policy C-8.3: Alternative Funding Sources	Pursue grants and other innovative funding sources to pay for new transportation improvements.
Policy C-8.4: Integrate Improvement Approach	Support special assessment districts for street and traffic improvements.
Goal C-9:	Participation in regional planning efforts to improve mobility and access.
Policy C-9.1: Regional Participation	Continue to review and consult with neighboring jurisdictions and institutions regarding development projects that could affect Walnut's transportation system.
Policy C-9.2: Agency Coordination	Participate in regional transportation planning processes to develop programs consistent with the goals and policies of Walnut's General Plan and to minimize adverse impacts on the City's circulation system.
Goal C-11:	Efficient and safe movement of goods without impacting Walnut's neighborhoods.
Policy C-11.2: Truck Deliveries	Consider pickup and delivery activities associated with various land uses when approving new development, implementing projects, and improving arterials and streets. Consider additional designation crafted for evolving delivery vehicle types, purpose, and operational hours that balance minimization of impacts and allow for more efficient deliveries.
CONSERVATION, OPEN SPACE, AND RECREATION	
Goal COR-1:	Open spaces that are protected and managed for current and future generations to enjoy
Policy COR-1.1: Open Space Resources	Preserve and protect natural habitats, creeks, hillside areas for use by wildlife, for education, and for residents' passive enjoyment. Consider acquiring vacant parcels that can contribute to the network of open space for these purposes.
Goal COR-7:	Protected and healthy groundwater basins
Policy COR-7.1: Green Infrastructure	Require low-impact designs such as vegetated treatment systems (bioswales, drainage swale, vegetative buffers, constructed wetlands) and other green infrastructure improvements for storm water discharge pollution removal.

A.4 COMMUNITY FACILITIES AND INFRASTRUCTURE ELEMENT

The element outlines the development of the City's administrative facilities, services, and utility infrastructure. The Development and Implementation Plan identifies strategies to maintain and update existing infrastructure and to ensure that future developments contribute to their upkeep. The WVSP promotes sustainable green infrastructure by identifying public rights-of-way that could accommodate low-impact designs such as vegetated treatment systems (bioswales, drainage swale, vegetative buffers, rain gardens, constructed wetlands), and other green infrastructure improvements for storm water management that fit into West Valley's location near several creeks.

A.5 PUBLIC SAFETY ELEMENT

The WVSP identifies neighborhood-level crime prevention and public safety programs to be incorporated for safer streets, development contributions to public safety via fees, and urban design that promotes "eyes on the streets" for passive monitoring of the public realm.

CONSERVATION, OPEN SPACE, AND RECREATION (continued)	
Policy COR-7.2: Groundwater Infiltration	Update Zoning and building requirements to require innovative design methods to increase pervious surfaces and maximize water infiltration into the San Gabriel Valley Groundwater basin.
Goal COR-12:	Comprehensive and connected trail system
Policy COR-12.1: Meeting Trail Needs	Maintain the City's extensive trail network to accommodate the diverse needs of the Walnut community.
COMMUNITY FACILITIES AND INFRASTRUCTURE	
Goal CFI-1:	Provide quality community facilities that meet the needs of the community in a fiscally responsible manner.
Policy CFI-1.2: New Development Impacts	Require that development projects fully address impacts to public facilities and services. Ensure new development pays proportional fair-share costs of public facilities through applicable fees and assessments. Ensure that existing residents and businesses are not burdened with the cost of financing facilities and services aimed at supporting new development or the intensification of existing development.
Policy CFI-1.7: Innovative Financing Mechanisms	Develop, evaluate, and apply innovative public facilities and infrastructure financing mechanisms and strategies.
Goal CFI-6:	Storm water infrastructure that minimizes flood risks and achieves water quality goals
Policy CFI-6.1: Storm Water and Drainage System	Implement best practices in storm water management to reduce demand on the drainage system and to remain low pollution impacts to the surface waters and Walnut's local creeks.
Policy CFI-6.3: Storm Water Runoff	Minimize the impact of development on the City's drainage system by reducing the amount of impervious surface associated with new development and encouraging low impact design features or landscaping that capture runoff.
PUBLIC SAFETY ELEMENT	
Goal PS-1	Effective and comprehensive crime prevention/protection and fire services that respond to the community's safety needs
Policy PS-1.8: Environmental Design	Look at design approaches that deter crime and vandalism for both public and private projects when reviewing development proposals and the design of public spaces. Consult methods found in Crime Prevention through Environmental and Design resources.

A.6 NOISE ELEMENT

Through design guidelines that promote noise-attenuating techniques to building design and land use policies aimed at eliminating noisy industrial uses, the Specific Plan observes the element’s noise mitigation goals and policies related to land use.

A.7 HOUSING ELEMENT

The Housing Element 2013-2021 was adopted in 2014. The element designated the Plan area as Mixed Use/Housing Opportunity Overlay #1 to accommodate new housing to consistent with the City’s Regional Housing Needs Assessment (RHNA) at the time of element adoption. Consistent with the element’s Housing Plan, the Specific Plan continues to encourage diverse housing options in the Plan area.

PUBLIC SAFETY ELEMENT (continued)	
Goal PS-1	Effective and comprehensive crime prevention/protection and fire services that respond to the community’s safety needs
Policy PS-1.8: Environmental Design	Look at design approaches that deter crime and vandalism for both public and private projects when reviewing development proposals and the design of public spaces. Consult methods found in Crime Prevention through Environmental and Design resources.
NOISE ELEMENT	
Goal N-1: Quiet neighborhoods	Coordinate the City’s land use policies promoting a small-town ambience with the appropriate measures to control, and to measure noise impacts
Policy N-1.4: Code Tools to Minimize Noise	Continue to use established code regulations that help minimize noise. Encourage continued use of zoning regulations, design review, and environmental assessment to implement, and develop further effective noise policies.
Policy N-1.8: Mixed Use	Require that mixed-use structures and areas be designed to minimize the transfer of noise from commercial uses to residential uses.
HOUSING ELEMENT	
Goal 1:	Provide adequate sites for residential development.
Policy 1.1:	Facilitate the development of vacant and underutilized parcels identified in the Housing Element residential site inventory.
Policy 1.2:	Maintain an up-to-date inventory of sites suitable for residential development and provide this information to residential developers and the real estate community.
Goal 2:	Encourage the adequate provision of affordable housing to meet the existing and future needs of Walnut residents
Policy 2.1:	Provide a variety of residential opportunities in the City including low density single-family homes, multi-family developments for families and seniors, and housing for persons with disabilities (including persons with developmental disabilities).
Goal 4:	Provide increased opportunities for homeownership.
Goal 5:	Mitigate governmental constraints on housing development.
Goal 6:	Promote equal opportunity for all residents to reside in housing of their choice.

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B

Glossary of Terms

B

Glossary of Terms

B.1 PURPOSE AND APPLICABILITY

Terms defined in this section are to be used for the purpose of administering the regulations contained in the WVSP. Terms defined here may be subject to applicable additional restrictions set forth in other chapters of the WVSP. Where any definition in this Glossary of Terms may conflict with definitions in other titles of the WMC, these definitions shall prevail for the purposes of the WVSP. If a word is not defined in this Chapter or in other provisions of the WMC, the most common dictionary definition is presumed to apply.

B.2 TERMS

Accessory

Refer to Section 5.2–Accessory Uses.

Alcohol beverage sales and services

Any establishment in which alcoholic beverages are sold, served, or given away for consumption on site as part of any permitted establishment.

Animal Services

Establishments where household animals may receive either medical and surgical treatment; grooming; or sales of products related to animal health, grooming, and general well-being occur.

Auto Body

Automobile uses and services, including but not limited to, maintenance and repair, body and paint,

car wash (self-service and automatic), upholstery, on-site storage, sales and rental, and any similar type of use, except for those deemed ancillary and appurtenant to a primary use (such as required parking facilities and valet parking).

Auto, recreational vehicle, and truck repair and maintenance

The sales, rental, repair, alteration, restoration, towing, painting, washing, or finishing of automobiles, trucks, recreational vehicles, boats, and other vehicles as a primary use, including the incidental wholesale and retail sale of vehicle parts as an accessory use. This includes, without limitation, storage, car washes, impounding, towing, and service stations.

Bikeways

Refers to all classes of bikeways as identified in the latest edition of the California Highway Design Manual.

Brewery, Distillery, and Winery

An establishment that produces ales, beers, meads, hard ciders, wine, liquor, and/or similar beverages on site.

Building

Any structure used or intended for sheltering or supporting any use or occupancy.

Commercial Kitchen

An establishment where food and beverages are prepared for off-site consumption. Typical uses include catering facilities and bakeries. This classification does not include businesses involved in the processing or manufacturing of food products.

Craft

Describes small-scale, low-impact approach to the production and sale of goods.

Density

The number of permitted residential dwelling units per acre of land expressed in dwelling units per acre (du/ac).

Developments

Any activity involving a structure a use subject to the provisions of the WVSP, including but not limited to, new construction, addition of floor area, significant exterior and interior changes, alteration of land, demolition, change of use, permit applications, and projects requiring environmental review.

Development Intensity

Development intensity addresses the amount of building square footage on a parcel or lot. Intensity can be described in many ways, including total building square footage, the percent of the lot the building occupies, the mass of a building, or a floor-

area ratio. The WVSP uses floor-area ratio to describe nonresidential and mixed-use intensity.

Development Standards

The basic building form or “envelope” that applies to a given property. Development standards consist of measurable building elements such as setbacks, stepbacks, building heights, floor area ratio, and residential density. The standards are considered prescriptive and quantitative, and are applied to all properties in each zoning district consistently. The development standards are mandatory, and projects shall only be approved if the proposed improvements are in compliance with the development standards.

Districts

Refers to the Land Use districts identified in Chapter 4 (Development Plan), Section 4.1 Land Use Plan.

Drive-in or Drive-through

Any establishment that provide services available to motorists who remain in their vehicles .

Dwelling Unit

A room or group of rooms (including sleeping, eating, cooking, and sanitation facilities, but not more than one kitchen), which constitutes an independent housekeeping unit, occupied or intended for occupancy by one household on a long-term basis.

Dwelling, Multiple-Unit

Two or more dwelling units on a site or lot, exclusive of an Accessory Dwelling Unit.

Dwelling, Single-Family

A detached building designed or used exclusively for the occupancy of one family and having a kitchen facility for only one family.

Dwelling, Two-Unit

Two dwelling units on a site or lot, exclusive of an Accessory Dwelling Unit.

Eating and Drinking Establishments

Businesses primarily engaged in serving prepared food and/or beverages for consumption on or off the premises.

Environmental Review

Refers to the processes and documentation established by the California Environmental Quality Act (CEQA) and locally adopted CEQA guidelines.

Financial Institutions

Banks and trust companies, credit agencies, credit unions, investment companies, lending and thrift institutions, securities/commodity contract brokers and dealers, security and commodity exchanges, vehicle finance (equity) leasing agencies. Financial institutions do not include check cashing or payday loan facilities.

Health, fitness, gyms, and personal training studios

An establishment where passive or active exercises and related activities are performed using equipment or apparatus for the purpose of physical fitness, improved circulation or flexibility, and/or weight control. Examples of uses include Pilates, personal training, dance, yoga and martial arts studios.

Floor Area

The sum of the gross horizontal areas of the several floors of a structure measured within the exterior faces of walls. The following are areas to be excluded for the purpose of calculating floor areas in the WVSP:

- Elevator shafts
- Stairwells and stairway enclosures
- Unroofed amenity areas, and common and private open spaces
- Rooms exclusively holding building operating equipment
- Parking spaces at or above grade and access thereto such as driveways
- Structures devoted exclusively to parking
- Restrooms in common areas of nonresidential buildings

Floor Area Ratio (FAR)

The ratio of the total floor area of all buildings on a land or parcel to the total land or parcel area.

Food hall and food markets

An eating and drinking establishment that contain multiple limited service restaurant businesses on the same premise. Food and beverages are purchased and consumed on premise.

Frontage (Architectural)

An architectural design element integrated to an adjacent building and located on the ground.

Frontage (Street)

Portion of a site that abuts or parallels a street, alley, or any other navigable roadway.

“Green” or Sustainable

As an adjective used in conjunction with an infrastructure, e.g. “green building, “green streets” without intent to refer to a specific legislation shall describe a physical development and resource use that aims to meet human needs while preserving the environment .

Impervious Surface

Any surface on the ground which prevents absorption of water into land.

Manufacturing, Light

A use engaged in the manufacture, predominately from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, treatment packaging, and incidental storage and hazardous waste management facility

for the producer’s waste only. Includes the incidental wholesale and/or direct retail sale to consumers of only those goods produced on-site. Includes incidental General Office uses associated with the on-site use. Examples of light industrial uses include, but are not limited to, the manufacture of electronic instruments, preparation of food products, pharmaceutical manufacturing, and manufacture of crafts, art, sculpture, stained glass, jewelry, apparel, furniture, and similar items.

Infrastructure

Public services and facilities such as of roads, water supply lines, sewage collection pipes, drainage pipes, and power and communications lines.

Live/Work

The partial use of a dwelling unit for low-intensity permitted commercial uses suitable to be carried out by the dwelling unit’s occupant(s) such as artists’ studios and workspace for artists and artisans, illustrators, painters, sculptors, photographers, or other activities related to fine arts; and architectural, engineering, industrial design and drafting, and other design activities.

Lot Coverage

The area of a structure on or above the ground, including upper-level projections and living areas, as well as covered or uncovered decks, balconies, porches, and similar architectural features expressed as a percentage of the total lot area. Uncovered

decks, balconies, and porches which are 30 inches or less from the ground shall not be included in the determination of coverage. Roof eaves which project 30 inches or less from the structure are not included in the determination of coverage. For roof eaves which exceed 30 inches from the structure, the first 30 inches shall not be included in lot coverage, and the remaining length shall be included in the determination of coverage.

Medical and Dental Office

Office use providing consultation, diagnosis, therapeutic, preventive, or corrective personal treatment services by doctors, dentists, chiropractors, acupuncturists, optometrists, and similar medical professionals, medical and dental laboratories within medical office buildings but excluding clinics or independent research laboratory facilities and hospitals and similar practitioners of medical and healing arts for humans licensed for such practice by the State of California. Incidental medical and/or dental research within the office is considered part of the office use, where it supports the on-site patient services.

Mixed-Use

A development form in which a mix of uses must include a residential component and which is located within the same building or within the same integrated development site. The land uses may be stacked on top of each other (i.e., a retail land use on the ground floor with multi-family residential

units or offices above). Alternately, the mix could be “horizontal” in nature where, for example, commercial or institutional (school or civic) uses are placed directly next to multifamily residential uses.

Multimedia Studio

Space in an outdoor or indoor area, building, part of a building, structure, or a defined area, which is utilized primarily for the creation of film, television, music video, multimedia, or other related activities.

Nonresidential

Any permitted use that does not contain a dwelling unit.

Offices

Interior building spaces maintained and used as a place of business conducted by persons whose business activity consists principally of services to the person as distinguished from the handling of commodities. Excludes medical-dental offices. General offices include, but are not limited to, the following:

- **Administrative/Business.** Establishments providing direct services to consumers, such as credit, lending, and trust agencies, data processing services, detective agencies, employment, insurance agencies, real estate offices, stenographic, secretarial and word processing services, union offices and utility company offices.

- **Production.** Office type facilities occupied by businesses engaged in the production of intellectual property. Production uses include computer software production and programming services, media postproduction services, graphic design, fashion, photography and commercial art studios, writers’ and artists’ offices, and the office space directly related to film, television, music video, multimedia, or other related activities.
- **Professional.** Professional offices include accounting; advertising agencies; architectural, engineering, planning and surveying services; attorneys; auditing and bookkeeping services; consulting; corporate; government agencies; counseling services; court reporting services; educational services; literary and talent agencies; management and public relations services; scientific and research organizations.

Open Space, Public or Quasi-public

Outdoor space that serves a recreational function or provides visual relief from the building mass. Includes any open space that has not been landscaped or otherwise provided with amenities, and is generally kept in a natural state. Examples include parks, unimproved open space, and athletic fields for non-commercial neighborhood or community use. Also includes privately owned public spaces provided and maintained by the property owner for public use in the form of an arcade or a public plaza with seating and

landscaping. Excludes commercial recreation where fees are charged for entrance or use.

Outdoor Storage

The storage of various materials (includes any goods, material, merchandise or vehicles in the same place for more than 72 hours) outside of a structure incidental to a principal use. Does not include the keeping of building materials reasonably required for construction work on the premises pursuant to a valid and current Building Permit issued by the City.

Parking Area

A public or private space dedicated to accommodate any parking and loading space/stalls, loading area, backup area, driveways, and aisles. Also includes:

- **Joint use parking.** The use of a single parking area for the purpose of loading and regular vehicular parking.
- **Shared Parking.** The use of a single parking facility by two distinctly different uses with distinctly different parking usage peak levels such that the shared use of parking area can be accomplished without limiting the ability of one use to occupy the area to the detriment of the other.

Public Art

A type of art accepted by the City through a formal agreement with the art sponsor and/or artist.

Public Facilities

A building or structure owned, operated, or occupied by a governmental agency to provide a governmental service to the public. Public facilities includes municipal, county, state or federal governmental buildings such as city hall, library, court facilities, warehouse/storage yards or fire stations, public open spaces and public recreational facilities.

Public Realm

The public realm includes all publicly owned land and improvements, including roads, sidewalks, public parking lots, open space, etc.

Research and Development

Establishments engaged in study, testing, design, analysis, and experimental development and testing of physical products, processes or services, including incidental manufacturing of products or provisions of services to others. This process does not include the general or mass production of the product. Includes the incidental wholesale and/or direct retail sale to consumers of only those goods produced on-site. Includes incidental General Office uses associated with the on-site use. Examples of research and development firms include, but are not limited to, electronic hardware research firms, pharmaceutical research laboratories, and medical testing and analysis.

Restaurant

An eating and drinking business establishment where customers purchase food and beverages and consume the food and beverages on the premises. Premises may include any permitted outdoor dining and service area.

- **Restaurant, Full Service.** Typical characteristics of a full service restaurant, include, table service by a server; payment for food and beverages after consumption; and serving food and beverages in containers to consumed on the premises. A full service restaurant may include incidental or occasional takeout sales.
- **Restaurant, Limited Service.** Establishments where food and beverages are consumed on the premises, taken out, or delivered, but where limited to no table service is provided. This classification includes cafes, cafeterias, coffee shops, delicatessens, concession stands, fast-food restaurants, sandwich shops, limited-service pizza parlors, self-service restaurants, and snack bars with indoor or outdoor seating for customers.

Residential

Land designated in the city or county General Plan and Zoning ordinance for buildings consisting only of dwelling units. May be improved, vacant, or unimproved land.

Retail

Sales, without limitation, of appliances, art, artists' supplies, bakeries (retail only), bicycles, books and periodicals, cameras and photographic supplies, clothing and accessories, computer and computer equipment, electronics, department stores, drug and discount stores, collectible items sales, curio, gift and souvenir shops, dry goods, fabric and sewing supplies, florists and houseplant stores (indoor), furniture and home furnishings, grocery stores, hardware, hobby materials, household and kitchen goods, jewelry, luggage and leather goods, musical instruments, parts and accessories, newsstands, orthopedic supplies, pharmacies, religious goods, small wares, specialty shops, sporting goods and equipment, stationery, and toys and games.

Right-of-Way (ROW)

A continuous strip of land reserved for or occupied by a road, sidewalk, parkway, crosswalk, railroad, electric transmission lines, oil or gas pipeline, water line, sanitary sewer, storm drain, traffic equipment, or other similar use.

Setback

The distance from which a structure, parking area, or other development feature must be separated from a prescribed lot line, easement, or other structure or development feature. **Stepback** is an additional setback applied to the upper floors of a

structure relative to the ground floor portion of the structure.

Service Stations

A business which services motor vehicles, including tube and tire repairs, battery charging, storage of merchandise and supplies related to the servicing of motor vehicles, sale of gasoline and lubricants, automobile washing and grease racks (not including mechanical car wash, body and fender works, engine overhauling or other similar activities).

Structure

Anything assembled or constructed on the ground, or attached to anything with a foundation on the ground

Use

The purpose for which land or the premises of a building, structure, or facility thereon is designed, arranged, or intended, or for which it is or may be occupied or maintained.

- **Use, Primary.** A primary, principal, or dominant use established, or proposed to be established, on a parcel.