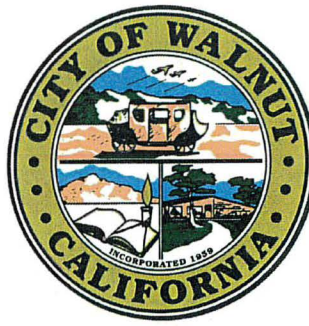


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21201 La Puente Road
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Telephone (909) 595-7543
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www.cityofwalnut.org



CITY OF WALNUT

Notice of Preparation of a Supplemental Environmental Impact Report (SEIR) and Notice of Public Scoping Meeting

DATE OF NOTICE: August 16, 2023

TO: State Clearinghouse, Agencies, Organizations, and Interested Parties

SUBJECT: Notice of Preparation of a Draft Supplemental Environmental Impact Report

PROJECT TITLE: Walnut Business Park

PROJECT LOCATION: Bounded by Valley Boulevard to the south, Lemon Avenue to the west, Paseo Del Prado to the north, and existing industrial development to the east.

LEAD AGENCY: City of Walnut

LEAD AGENCY CONTACT: Joelle Guerra, Planning and Code Enforcement Manager
City of Walnut, Community Development
21201 La Puente Road
Walnut, CA 91789
Phone: (909) 348-0738
Email: jguerra@cityofwalnut.org

This Notice of Preparation (NOP) has been prepared to notify agencies and interested parties that the City of Walnut (City), as the Lead Agency, will prepare a Supplemental Environmental Impact Report (SEIR) to the Walnut General Plan EIR pursuant to the California Environmental Quality Act (CEQA) for the proposed Walnut Business Park (proposed project). The project description, location, and the potential environmental effects of the project are included in this NOP. The City requests your comments as to the scope and content of the SEIR. Comments must be submitted in writing pursuant to the directions below. If you represent an agency, the City is seeking comments as to the scope and content of the environmental information in the document that is germane to your agency's statutory responsibilities in connection with the proposed project. To the extent that your agency has authority to issue permits or take other actions related to the project, the SEIR prepared

by the City may be used when considering your permitting decisions or other approval for the project.

PUBLIC REVIEW PERIOD: The City has determined to make this NOP available for a 30-day public review and comment pursuant to Title 14, Section 15082(b) of the California Code of Regulations. The comment period for the NOP begins August 16, 2023 and ends on September 18, 2023. **Please send your comments, including a return address and contact name, via mail or email to the identified Lead Agency Contact.**

The NOP can also be accessed online at: www.cityofwalnut.org

PUBLIC SCOPING MEETING. In accordance with CEQA Guidelines 15082, a public scoping meeting will be held on August 29, 2023, at 6:00pm in the City Council Chambers, located at 21201 La Puente Road, Walnut, CA 91789. Attendance can be in-person or via Zoom at:

<https://us06web.zoom.us/j/82213267978?pwd=OVdmZGJnNEhVejBNL0JHaEZrdStJZz09>

Meeting ID: 822 1326 7978

Passcode: 093265

PROJECT LOCATION: The project site is in the southern portion of the City of Walnut in Los Angeles County. The project site is approximately 25 acres and is bordered by Valley Boulevard to the south, South Lemon Avenue to the west, Paseo Del Prado to the north, and an existing development to the east. Beyond Valley Boulevard is the Southern Pacific Railroad line and San Jose Creek. The City of Industry, which is characterized by industrial land uses, lies south of these features. The project site is approximately 0.8 mile north of State Route 60 (SR-60) and 1.5 miles northwest of State Route 57 (SR-57) (see Figure 1, *Regional Location*, and Figure 2, *Local Vicinity*). The property immediately northeast of the intersection of South Lemon Avenue and Valley Boulevard is not a part of the project site. The property immediately southeast of the intersection of Paseo Del Prado and Paseo Tesoro is also not a part of the project site (see Figure 3, *Aerial Photograph*).

ASSESSOR'S PARCEL NUMBERS (APNs):

8720-024-058	8720-034-005	8720-034-019	8720-034-033
8720-034-001	8720-034-035	8720-034-020	8720-034-034
8720-034-002	8720-034-016	8720-034-030	8720-034-024
8720-034-003	8720-034-017	8720-034-031	8720-034-025
8720-034-004	8720-034-018	8720-034-032	8720-034-026

PROJECT DESCRIPTION: The Walnut Business Park is a proposed development of a multibuilding warehouse and distribution uses. The project site is currently developed with an existing business park accommodating primarily commercial and light industrial uses, including a beef jerky manufacturer, chorizo manufacturer, roofing material supplier, a car body shop repair facility, a pizza restaurant, Mexican food supply store, rent-a-car office, and pet food supply outlet, with a building area totaling 357,544 square feet.

The proposed development would consist of four buildings that would encompass a total of 414,778 square feet of building space. The proposed project would include approximately 392,490 square feet of warehousing space and approximately 22,290 square feet of office/retail space. Building 1 would be approximately 197,550 square feet, Building 2 would be approximately 38,190 square feet, Building 3 would be approximately 94,270 square feet, and Building 4 would be approximately 84,770 square feet (see Figure 4, *Site Plan*). There are no specific business(es) and/or tenant(s) identified at this time, and the specific warehousing/distribution types have not been defined. The buildings would be designed for multiuse, with the South Lemon Avenue frontage catering to retail and office uses, and the warehouse and manufacturing uses in the interior of the site. Food and beverage pick-up and e-commerce last-mile tenants are also possible future tenants. Any prospective user must be either permitted by right or conditionally permitted under the Walnut Zoning Code. Cold storage uses would be allowed in Buildings 1 and 4. The proposed project would include approximately 1,097 parking stalls, and approximately 115,030 square feet of landscaping, comprising approximately 11.5 percent of the project site. The existing uses on the project site would be demolished and project development would occur in one phase with an anticipated start date of January 2025.

The City of Walnut's 2018 General Plan Update (GPU) designates the plan area as "Industrial," which permits light manufacturing, commercial storage, craftsman and artisan assembly and production, and limited vehicle service repair uses. Limited commercial retail and office uses are also permitted. The proposed project would not change the land use designation of the project site but would increase the building space on the site from the existing 357,544 square feet to 414,778 square feet.

The proposed project would require the following discretionary and administrative approvals from the City:

- Certification of the Supplemental Environmental Impact Report
- Approval of Tentative Parcel Map
- Approval of Site Plan Review
- Approval of Design Review Permit

POTENTIAL ENVIRONMENTAL EFFECTS OF THE PROPOSED PROJECT: Based on a preliminary review of the proposed project's consistency with CEQA Guidelines, Section 15060, the City has determined that an SEIR be prepared for the proposed project. Consistent with CEQA Guidelines Section 15082, the City has identified the following probable environmental effects of the project:

- Aesthetics
- Air Quality
- Cultural Resources
- Energy
- Greenhouse Gas Emissions
- Hazards and Hazardous Materials
- Hydrology and Water Quality
- Land Use and Planning
- Noise
- Public Services
- Transportation
- Tribal Cultural Resources
- Utilities and Service Systems

It is anticipated that the potential impacts to Agriculture/Forestry Resources, Biological Resources, Mineral Resources, Population/Housing, Recreation, and Wildfire will be addressed in the *Impacts Found Not to be Significant* chapter of the SEIR. The SEIR will also evaluate CEQA-mandated topics such as cumulative impacts, growth inducement, and project alternatives.

The contents of the SEIR will be subject to input received during the NOP comment period, including input at the SEIR scoping meeting.

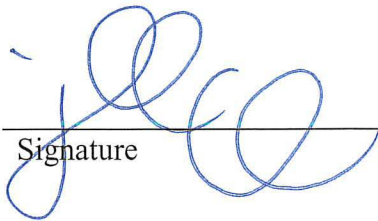
Attachments:

Figure 1. Regional Location

Figure 2. Local Vicinity

Figure 3. Aerial Photograph

Figure 4. Site Plan



Signature

JOELLE GUERRA

Printed Name

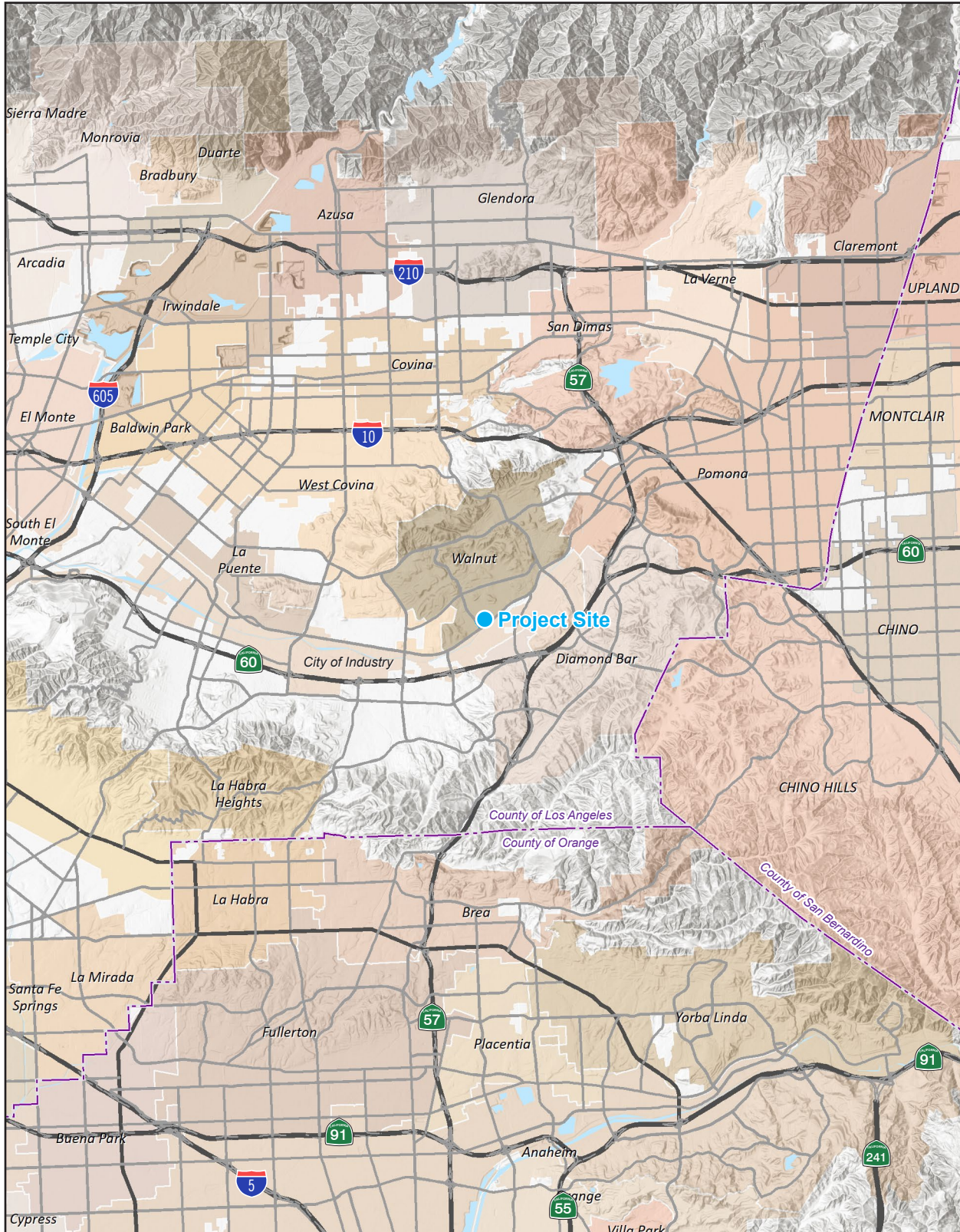
08/14/23

Date

PLANNING & CODE ENFORCEMENT
MANAGER

Title

Figure 1 - Regional Location



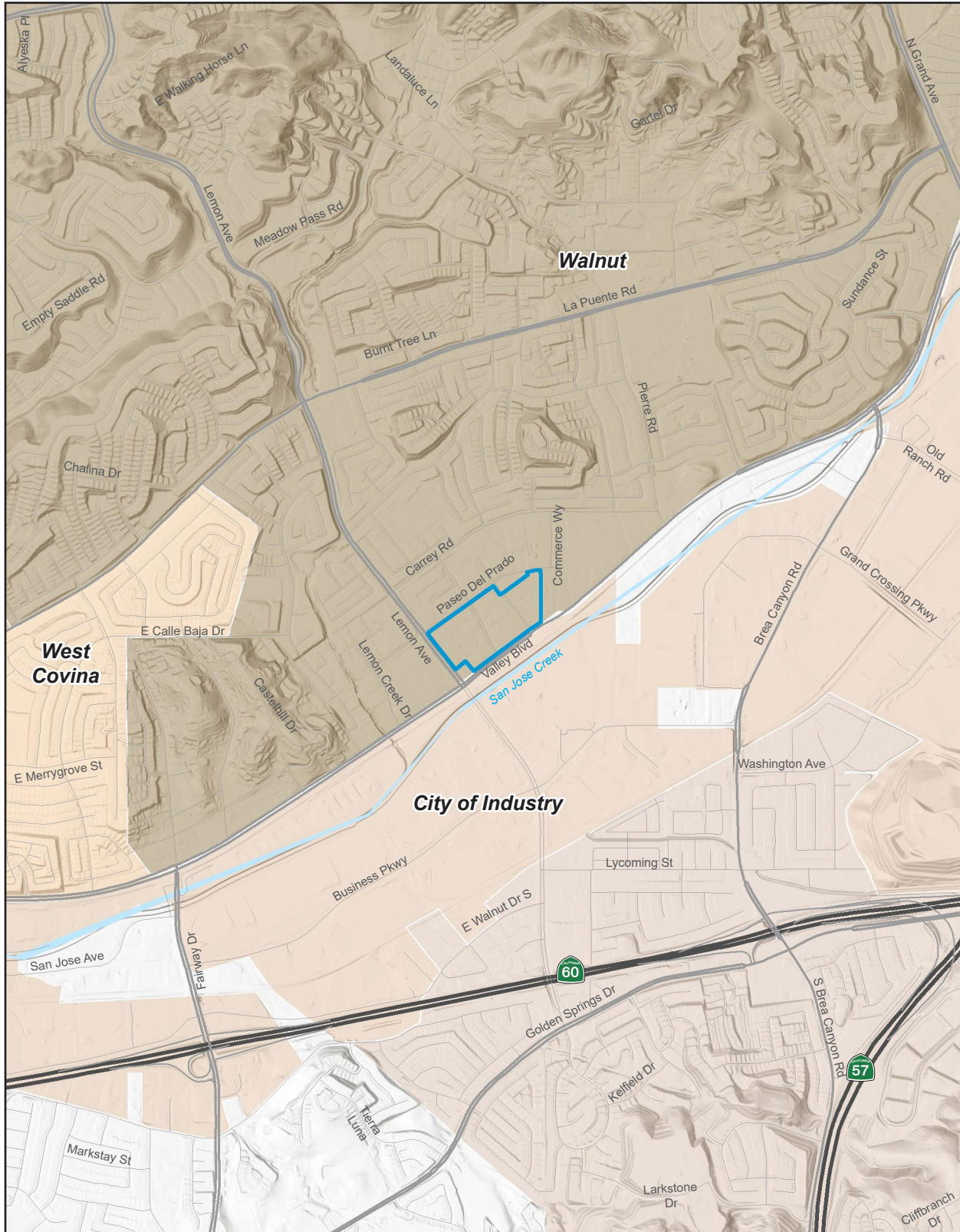
----- County Boundary

Note: Unincorporated county areas are shown in white.

Source: Generated using ArcMap 2023.



Figure 2 - Local Vicinity



Project Boundary

Note: Unincorporated county areas are shown in white.
Source: Generated using ArcMap 2023.

0 2,000
Scale (Feet)



Figure 3 - Aerial Photograph



— Project Boundary

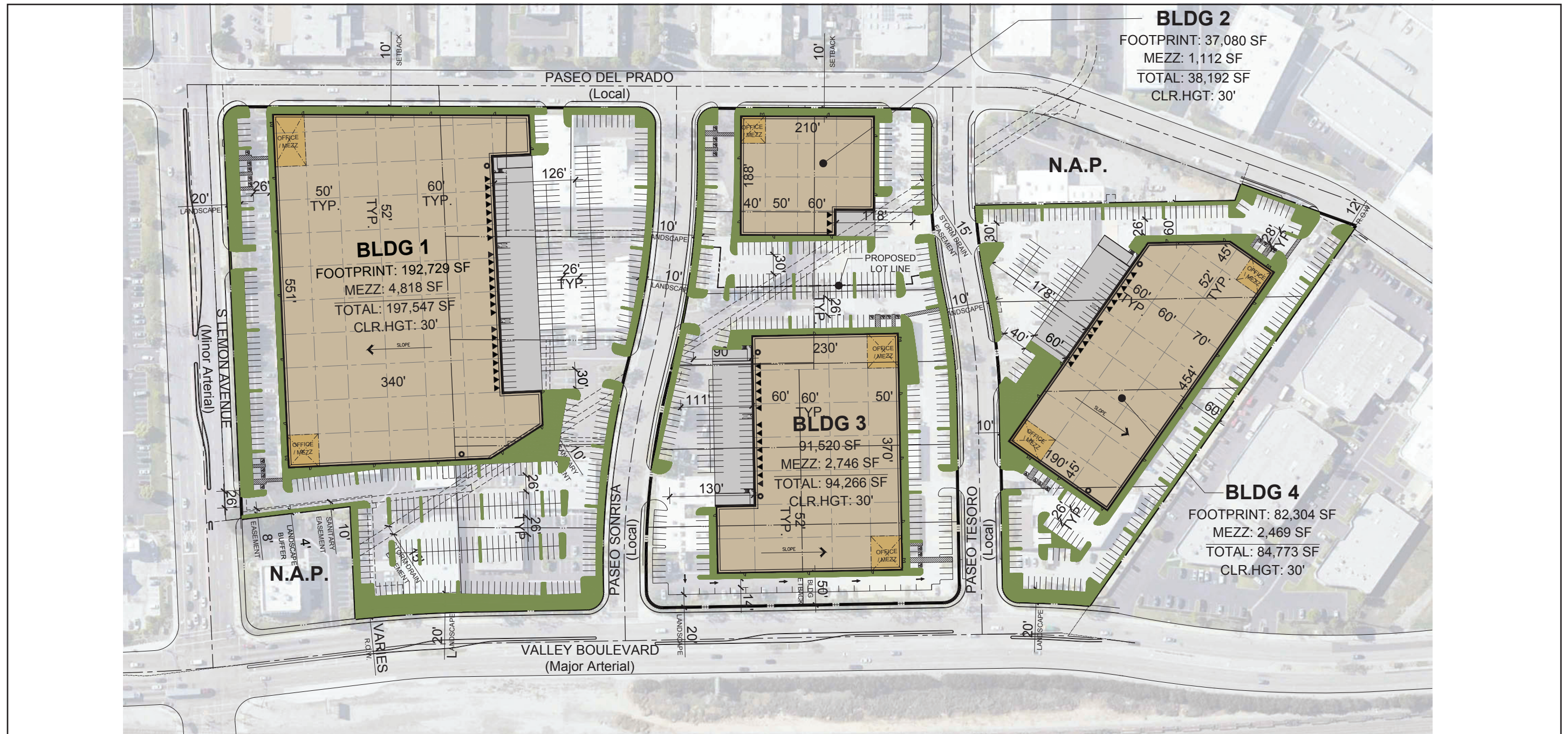
- - - City Boundary

Source: Nearmap 2023.

0 450
Scale (Feet)



Figure 4 - Site Plan



SITE		BUILDING											GROSS	PARKING									
SITE AREA (SF)	SITE AREA (ACRE)	BLDG.	BUILDING FOOTPRINT	MEZZ. AREA (SF)	BUILDING AREA (SF)	GROSS F.A.R.	BUILDING USE:				GROSS COVERAGE	PARKING REQUIRED			PARKING PROVIDED	PARKING RATIO	REQ. ACC. STALLS	DOCK-HIGH DOORS	GRADE-LEVEL DOORS				
							WAREHO USE (SF)	TOTAL OFFICE %	GRND FLOOR OFFICE (SF)	OFFICE MEZZ		WAREHO USE 1/400 SF	GRND OFFICE 1/250 SF	OFFICE MEZZ 1/250 SF						TOTAL			
450,063	10.33	1	192,729	4,818	197,547	0.44	187,911	5%	4,818	4,818	42.8%	470	19	19	508	509	@2.58/1000 SF	10 STALLS	24	2			
326,231	7.49	2	37,080	1,112	38,192	0.41	35,968	6%	1,112	1,112	39.4%	90	4	4	98	105	@2.75/1000 SF	5 STALLS	3	1			
225,185	5.17	3	91,520	2,746	94,266	0.38	88,774	6%	2,746	2,746	36.5%	222	11	11	244	247	@2.62/1000 SF	7 STALLS	14	2			
1,001,479	23	4	82,304	2,469	84,773	0.41	79,835	6%	2,469	2,469	40.3%	200	10	10	220	236	@2.78/1000 SF	7 STALLS	13	2			
			403,633	11,145	414,778		392,488		11,145	11,145		982	44	44	1,070	1,097	@2.64/1000 SF	35 STALLS	54	7			

Source: Ware Malcomb 2023.

