

IDS WALNUT BUSINESS CENTER

VALLEY BOULEVARD & LEMON AVENUE
WALNUT, CALIFORNIA 91789



SHEET INDEX

ARCHITECTURAL

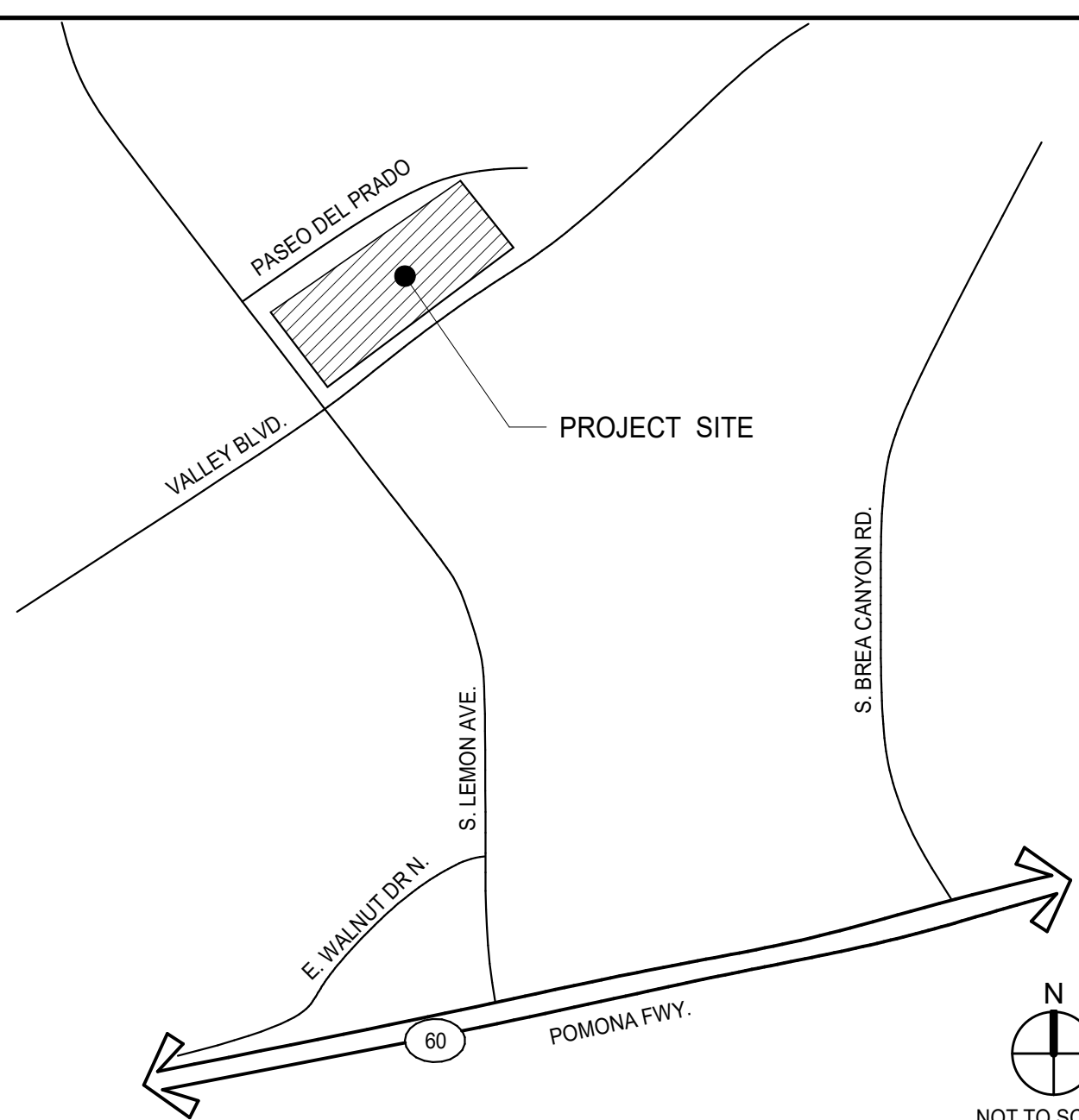
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ARCHITECTURAL SHEET COUNT: 15	

WARE MALCOMB
ARCHITECTURE
PLANNING
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Irvine, CA 92618
P 949.660.9128



IDS WALNUT BUSINESS CENTER
VALLEY BOULEVARD & LEMON AVENUE
WALNUT, CALIFORNIA 91789

VICINITY MAP



OWNER

COMPANY NAME
IDS REAL ESTATE GROUP
515 S. FIGUEROA STREET
16TH FLOORNE 2
LOS ANGELES, CA 90071
(213) 362-8314XX

PRIMARY CONTACT: DAN SIBSON
PH: (213) 362-9314XX
EMAIL: DSIBSON@IDSMREALESTATE.COM

ALTERNATE CONTACT: EVAN LLOYD
PH: (213) 362-9343XX
EMAIL: ELLOYD@IDSMREALESTATE.COM

GENERAL CONTRACTOR

COMPANY NAME

ARCHITECT

WARE MALCOMB

10 EDELMAN
IRVINE, CALIFORNIA 92618
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PRIMARY CONTACT: CORY ADAMS
PH: (949) 660-9128 x1034
EMAIL: cadams@waremalcomb.com

OWNER'S CONSULTANTS

ARCHITECT'S CONSULTANTS

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEERS OF RECORD WHO SHALL REVIEW AND PROVIDE NOTATION INDICATING DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE BUILDING DESIGN. SUBMITTAL MATERIALS SHALL INCLUDE PLANS, DETAILS AND CALCULATIONS PREPARED AND SIGNED BY A STATE REGISTERED ENGINEER. CONTRACTOR SHALL SUBMIT ARCHITECT AND ENGINEER REVIEWED SUBMITTAL MATERIALS TO THE BUILDING OFFICIAL FOR REVIEW AND PERMIT APPROVAL. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED PRIOR TO OBTAINING THE BUILDING OFFICIAL'S APPROVAL OF THE SUBMITTAL.

1. AUTOMATIC FIRE SPRINKLER SYSTEM.
2. FIRE ALARM SYSTEM.
3. STEEL JOISTS, TRUSSES AND GIRDERS CONFORMING TO SJI STANDARDS SPECIFICATIONS.
4. STEEL STAIRS, HANDRAILS AND GUARDS.
5. HIGH PILED STORAGE RACKING.
6. EXTERIOR BUILDING SIGNAGE.
7. ANCHORAGE DESIGN FOR ALL ELECTRICAL EQUIPMENT REQUIRED.
8. STOREFRONT AND CURTAIN WALL GLAZING SYSTEMS.
9. ROOF HATCH, RAILING AND GATE.
10. ROOF ACCESS LADDER/PLATFORM DESIGN AND SUPPORT.
11. LADDER SAFETY SYSTEM DESIGN AND SUPPORT.

TITLE SHEET

DATE	ENTITLEMENT SUBMITTAL	REMARKS
2023-08-09		
1		

PA/PM: C. OBNIAL

DRAWN BY: C.G. / C.B.

JOB NO.: IRV21-0183-00

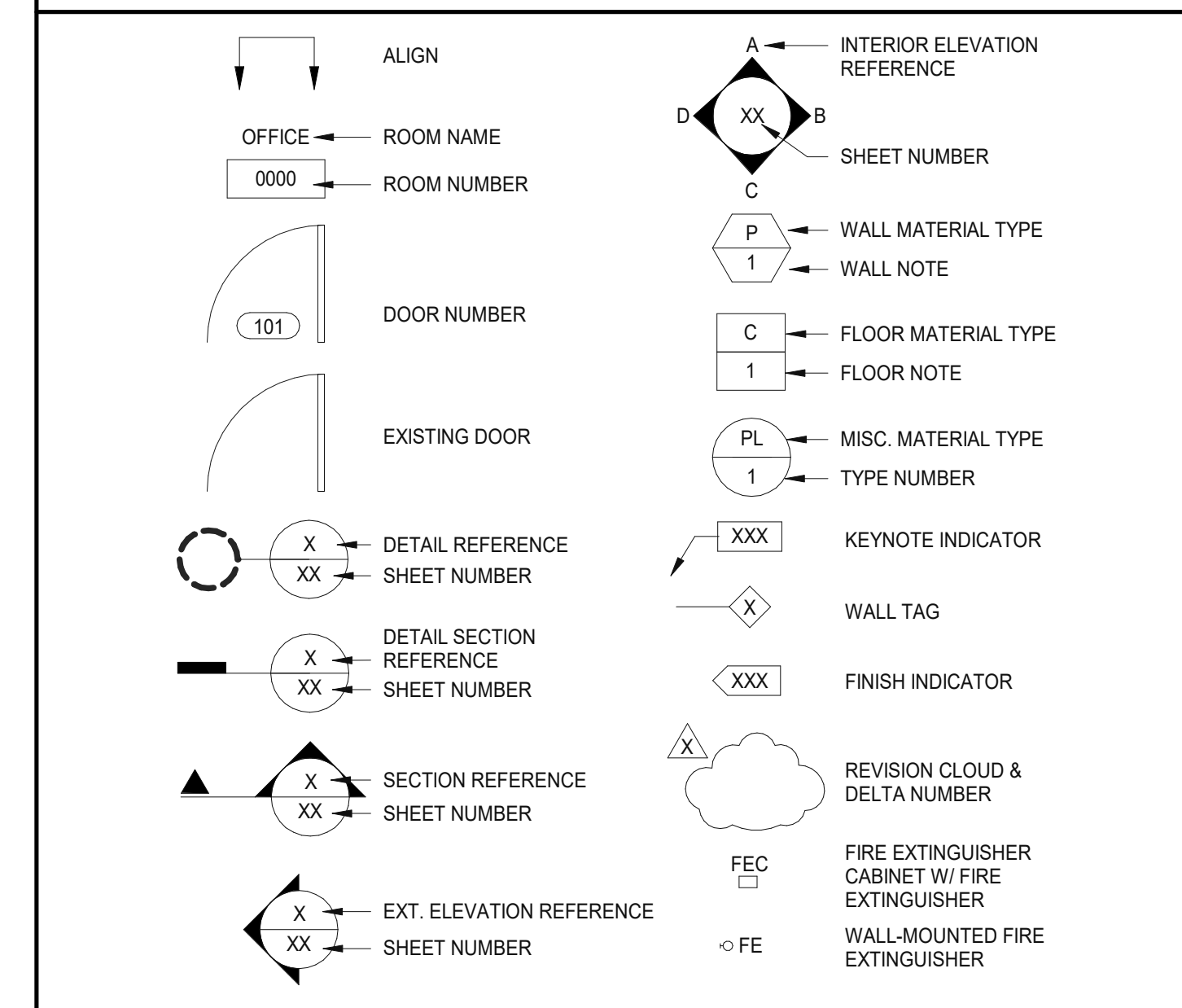
SHEET

G010

ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and unit. Includes terms like ANGLE, CENTERLINE, EXISTING, AREA DRAIN, etc.

SYMBOLS



PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS FOUR (4) CONCRETE TILT INDUSTRIAL BUILDINGS TOTALING 414,778 SF OF COLD DARK SHELL WAREHOUSE & RELATED SITE WORK.

PROJECT DATA

Table with columns for CITY OF, BUILDING, STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, FIRE / LIFE SAFETY, ENERGY, ACCESSIBILITY, and OTHER.

CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION

Table with columns for OCCUPANCY, SECTION, USE, and PROPOSED AREA (SF).

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

Table with columns for MAIN OCCUPANCY, SPRINKLER CONDITION, ALLOWABLE BUILDING HEIGHT IN FEET, and PROPOSED NUMBER OF STORES ABOVE GRADE PLANE.

ALLOWABLE BUILDING AREA: UNLIMITED AREA ALLOWED PER 507.3. W/ AUTOMATIC SPRINKLER AND OPEN YARDS GREATER THAN 60 FEET ON ALL SIDES.

PROPOSED TOTAL BUILDING AREA 414,778 S.F.

CHAPTER 6 - TYPES OF CONSTRUCTION

TYPE OF CONSTRUCTION (602) TYPE: III-B

Table listing building elements and their fire resistance ratings in hours.

Table listing exterior walls based on fire separation and their fire resistance ratings in hours.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

Table for allowable area of openings, including columns for fire separation, exterior wall area, and actual area of openings.

CHAPTER 9 - FIRE PROTECTION SYSTEMS

(903.3.1.1) AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED WITH ACCORDANCE WITH NFPA 13. (903.4) AUTOMATIC SPRINKLER SYSTEM MONITORING AND ALARMS WILL BE PROVIDED.

WARE MALCOMB logo and contact information: CIVIL ENGINEERING, ARCHITECTURE, PLANNING, INTERIORS.

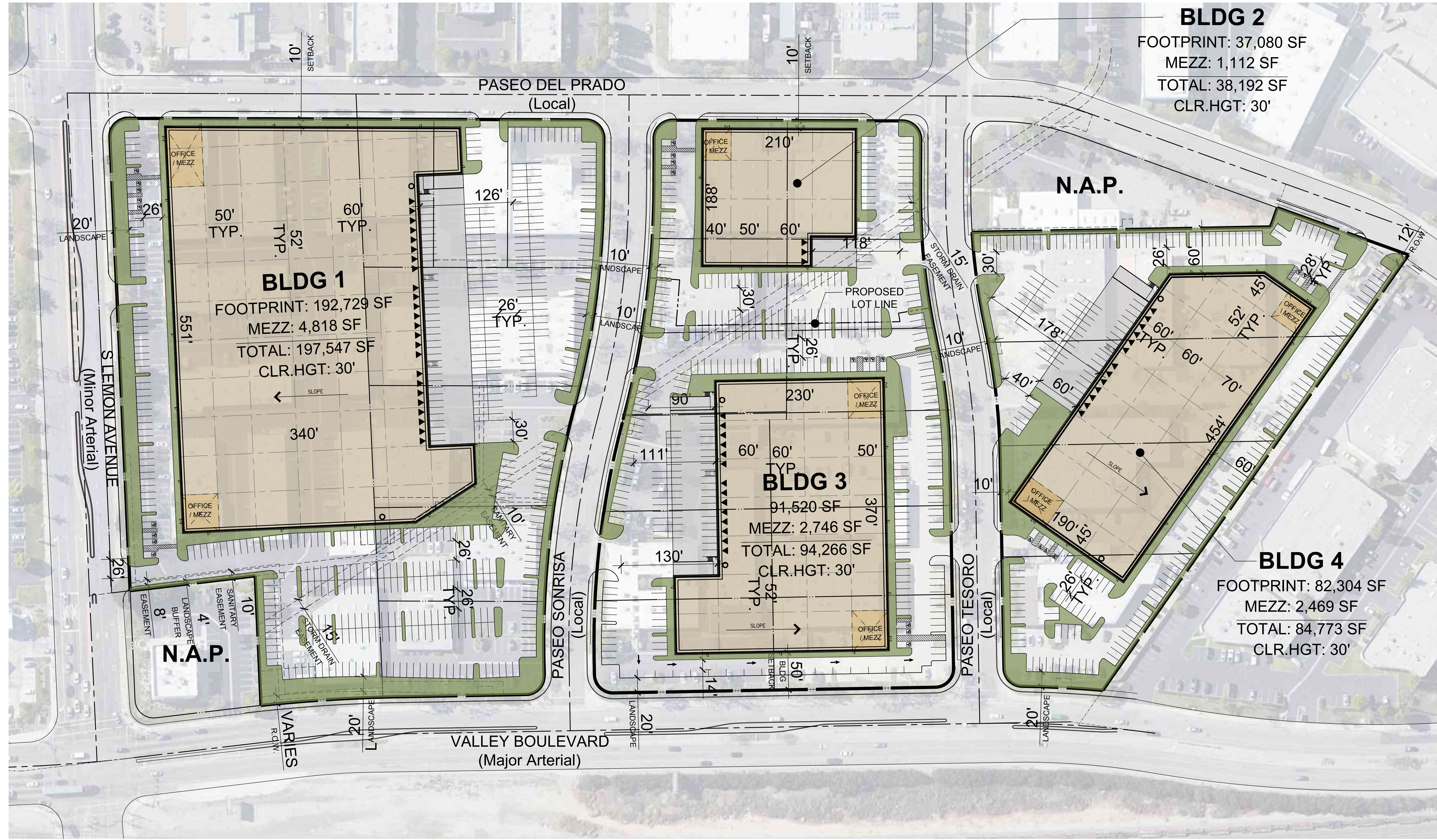
IDS REAL ESTATE GROUP logo.

IDS WALNUT BUSINESS CENTER logo and address: VALLEY BOULEVARD & LEMON AVENUE, WALNUT, CALIFORNIA 91789.

PROJECT DATA table with columns for DATE, ENTITLEMENT SUBMITTAL, and REMARKS.

Table with columns for P/APP, DRAWN BY, and JOB NO.

SHEET A010 label.



BLDG 2
 FOOTPRINT: 37,080 SF
 MEZZ: 1,112 SF
 TOTAL: 38,192 SF
 CLR.HGT: 30'

BLDG 1
 FOOTPRINT: 192,729 SF
 MEZZ: 4,818 SF
 TOTAL: 197,547 SF
 CLR.HGT: 30'

BLDG 3
 FOOTPRINT: 91,520 SF
 MEZZ: 2,746 SF
 TOTAL: 94,266 SF
 CLR.HGT: 30'

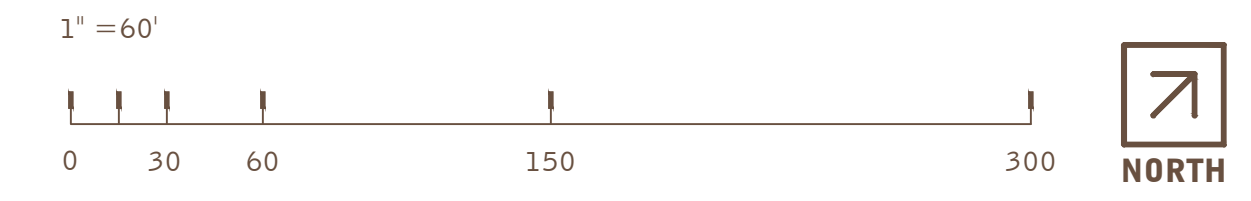
BLDG 4
 FOOTPRINT: 82,304 SF
 MEZZ: 2,469 SF
 TOTAL: 84,773 SF
 CLR.HGT: 30'

DEVELOPMENT STANDARDS:

ZONING:	M1
MAX. COVERAGE:	60%
MAX. BLDG. HT.:	35 FT
BUILDING SETBACKS:	
FRONT:	50 FT ¹
SIDE:	0 FT ²
REAR:	0 FT ²
LANDSCAPE SETBACKS:	
FRONT:	20 FT ¹
SIDE:	0 FT ²
REAR:	0 FT ²
OFF-STREET PARKING:	
STANDARD:	9X20
DRIVE AISLE:	26 FT
TREE WELL:	4 FT
REQ. PARKING RATIO BY USE:	
WAREHOUSE:	1/400 SF ³
MANUF.:	1/400 SF ³
OFFICE:	1/250 SF

NOTES:

- There shall be a required front yard or setback line adjacent to all major and secondary highways as follows:
 - a) 50 feet, of which the rear 30 feet may be used for off-street parking
 - b) 30 feet provided the off-street parking is located a minimum of 50 feet from the front property line
- There shall be a required front yard or setback line of 30 feet on all local streets. Off-street parking is not permitted in the setback area.
- All property adjacent to a major or secondary highway shall be classified as a front yard.
- Whenever the M-1 zone is adjacent to a residential zone, yard requirement will be as required on all major and secondary highways.
- Industrial Uses of All Types. 1 parking space for each 2 employees on the largest shift, or for each 400 square feet of floor area, whichever is greater, and one parking space for each vehicle operated or kept in connection with the use.



PROJECT DATA:		BUILDING											GROSS	PARKING							
SITE	SITE AREA (SF)	SITE AREA (ACRE)	BLDG.	BUILDING FOOTPRINT	MEZZ. AREA (SF)	BUILDING AREA (SF)	GROSS F.A.R.	BUILDING USE:				GROSS COVERAGE	PARKING REQUIRED				PARKING PROVIDED	PARKING RATIO	REQ. ACC. STALLS	DOCK-HIGH DOORS	GRADE-LEVEL DOORS
								WAREHOUSE (SF)	TOTAL OFFICE %	GRND FLOOR OFFICE (SF)	OFFICE MEZZ		WAREHOUSE	GRND OFFICE	OFFICE MEZZ	TOTAL					
1	450,063	10.33	1	192,729	4,818	197,547	0.44	187,911	5%	4,818	4,818	42.8%	470	19	19	508	509	@2.58/1000 SF	10 STALLS	24	2
2	326,231	7.49	2	37,080	1,112	38,192	0.41	35,968	6%	1,112	1,112	39.4%	90	4	4	98	105	@2.75/1000 SF	5 STALLS	3	1
3	225,185	5.17	4	91,520	2,746	94,266	0.38	88,774	6%	2,746	2,746	36.5%	222	11	11	244	247	@2.62/1000 SF	7 STALLS	14	2
4	82,304	2.469	4	82,304	2,469	84,773	0.38	79,835	6%	2,469	2,469	36.5%	200	10	10	220	236	@2.78/1000 SF	7 STALLS	13	2
TOTAL	1,001,479	23		403,633	11,145	414,778	0.41	392,488		11,145	11,145	40.3%	982	44	44	1,070	1,097	@2.64/1000 SF	35 STALLS	54	7

WARE MALCOMB
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 INTERIORS BUILDING MEASUREMENT

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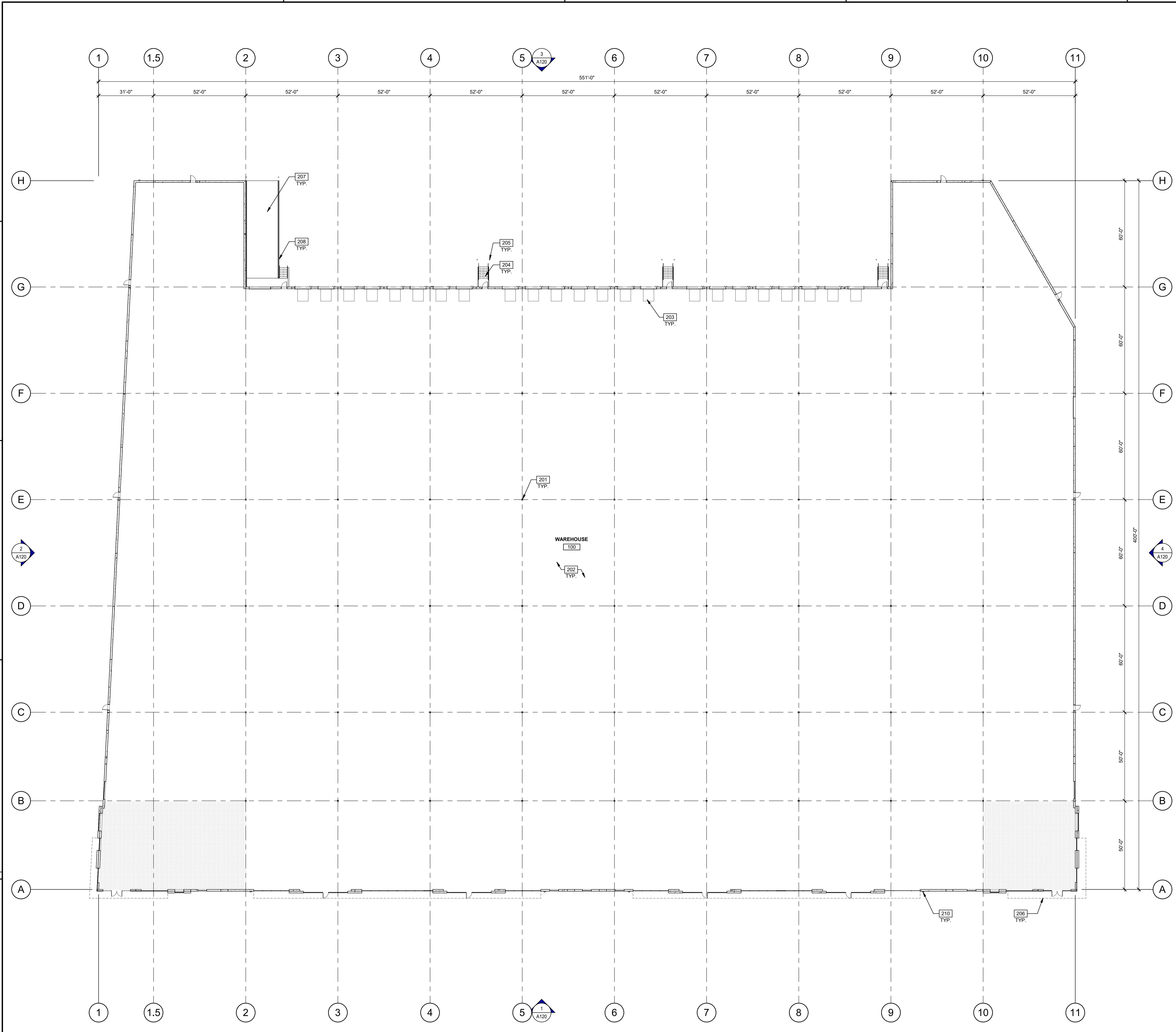
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OVERALL SITE PLAN

DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

P.A.P.M.: C. OBNIAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A100



- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
 - 203 DOCK PIT.
 - 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
 - 205 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 206 OUTLINE OF CANOPY ABOVE.
 - 207 CONCRETE RAMP.
 - 208 CONCRETE RETAINING WALL.
 - 210 PRIMARY AND SECONDARY ROOF DRAIN LEADERS. TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.

WALL LEGEND

- CONCRETE WALL
- EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL

LEGEND

- ▨ PROPOSED FUTURE OFFICE AREA

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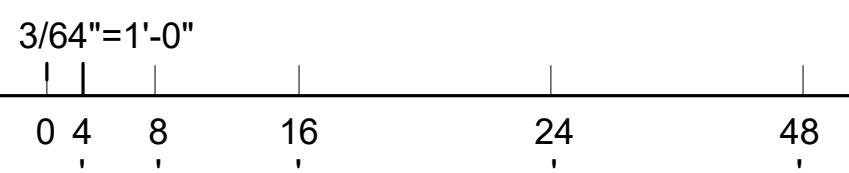


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BUILDING 1 - FLOOR PLAN	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

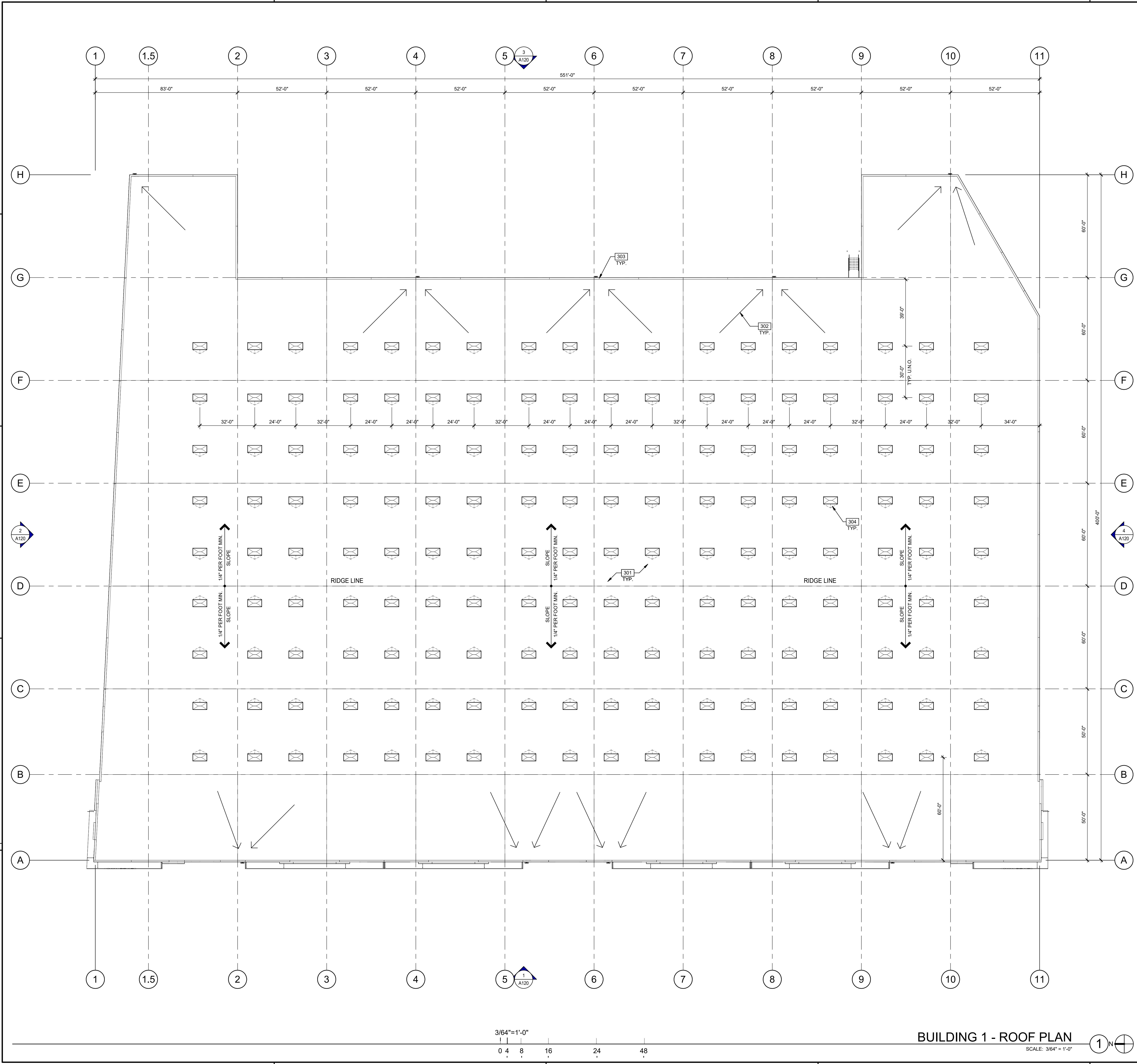
P/APP: C. OBNIAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A110



BUILDING 1 - FLOOR PLAN
 SCALE: 3/64" = 1'-0" 1 N

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- KEYNOTES:**
- 301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
 - 302 FLOW LINE TO DRAIN.
 - 303 PRIMARY AND SECONDARY.
 - 304 CRICKET.

ROOF SKYLIGHT LEGENDS:

SKYLIGHT: (2.5%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

SKYLIGHTS:
 SKYLIGHT SIZE: 48"x96"x32 S.F.
 (WAREHOUSE AREA S.F.) x 2.5% = $\frac{195,608 \times 0.025}{32}$
 (SKYLIGHT SIZE)
 DESIRED: 153 SKYLIGHTS
 PROVIDED: 162 SKYLIGHTS

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IDS
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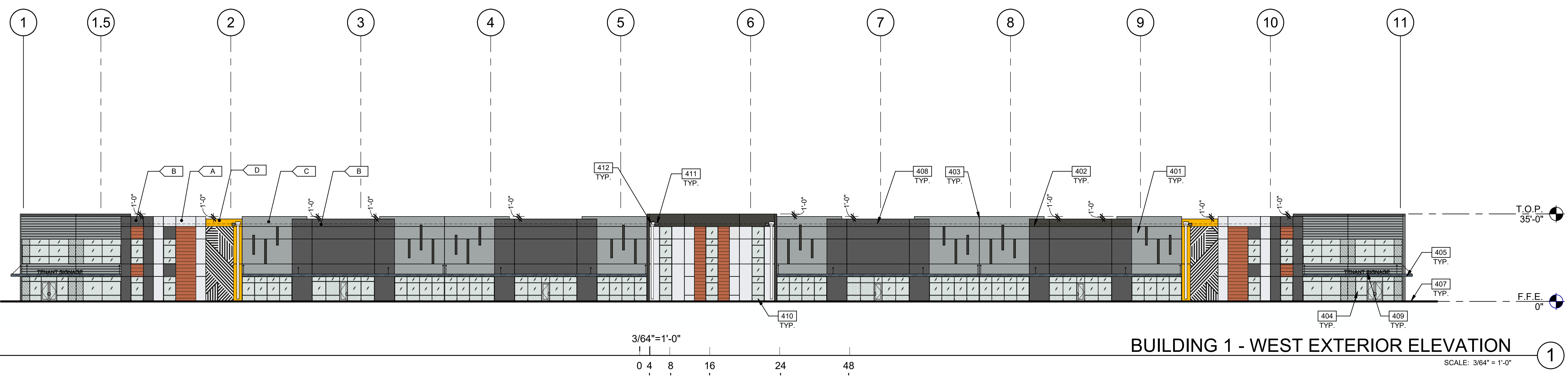
BUILDING 1 - ROOF PLAN	
DATE	REMARKS
2023-08-09 <td>ENTITLEMENT SUBMITTAL</td>	ENTITLEMENT SUBMITTAL
1	

P/APP: C. OBIAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A111

BUILDING 1 - ROOF PLAN 1 N

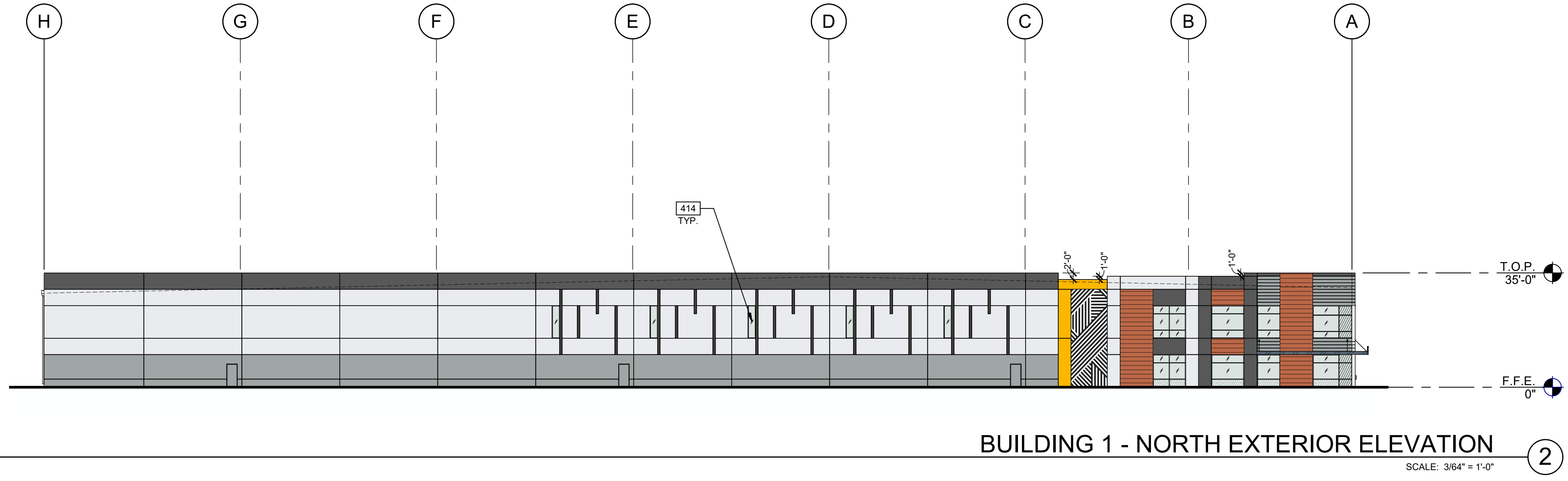
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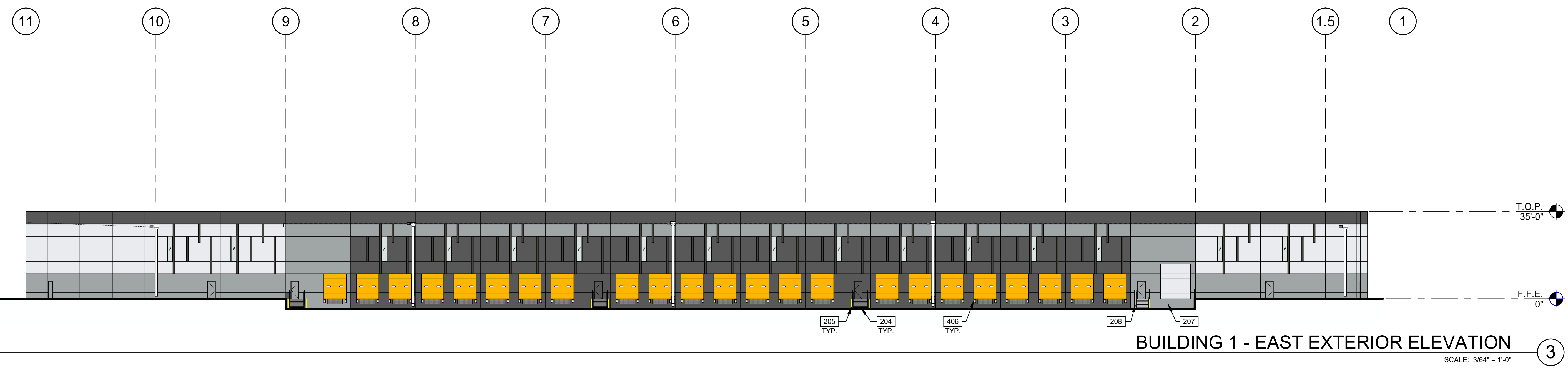
BUILDING 1 - WEST EXTERIOR ELEVATION

- KEYNOTES:**
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
 - 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 207 CONCRETE RAMP
 - 208 CONCRETE RETAINING WALL
 - 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 403 CONCRETE WALL JOINT.
 - 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 405 METAL CANOPY, PAINTED.
 - 406 DOCK BUMPER.
 - 407 FINISH GRADE VARIES.
 - 408 LINE OF ROOF BEYOND.
 - 409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
 - 410 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLASS.
 - 411 PRIMARY AND SECONDARY SCUPPERS.
 - 412 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
 - 414 CLERESTORY WINDOW.

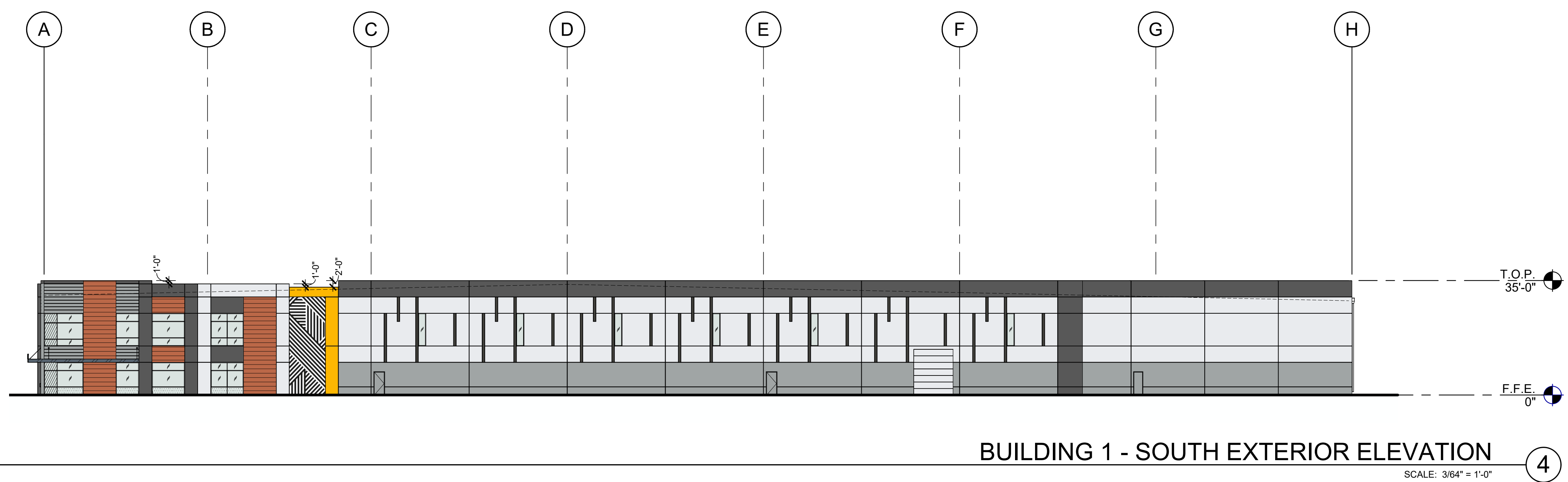
- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - CORRUGATED METAL PANEL
 - ALUMINUM FAUX WOOD - KNOTWOOD OR EQUIVALENT
 - PAINTED MURAL
- GLASS:**
- VISION GLASS
 - TEMPERED GLASS
 - SPANDREL GLASS
- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SW 7138 - LAVENDER WISP
 - SECONDARY COLOR: SW 7674 - PEPPERCORN
 - ACCENT COLOR: SW 9558 - CASTLEGATE
 - ACCENT COLOR: SW 6905 - GOLDFINCH
 - ACCENT COLOR: SW 6528 - TRICORN BLACK
 - ACCENT COLOR: SW 7069 - IRON ORE



BUILDING 1 - NORTH EXTERIOR ELEVATION



BUILDING 1 - EAST EXTERIOR ELEVATION



BUILDING 1 - SOUTH EXTERIOR ELEVATION

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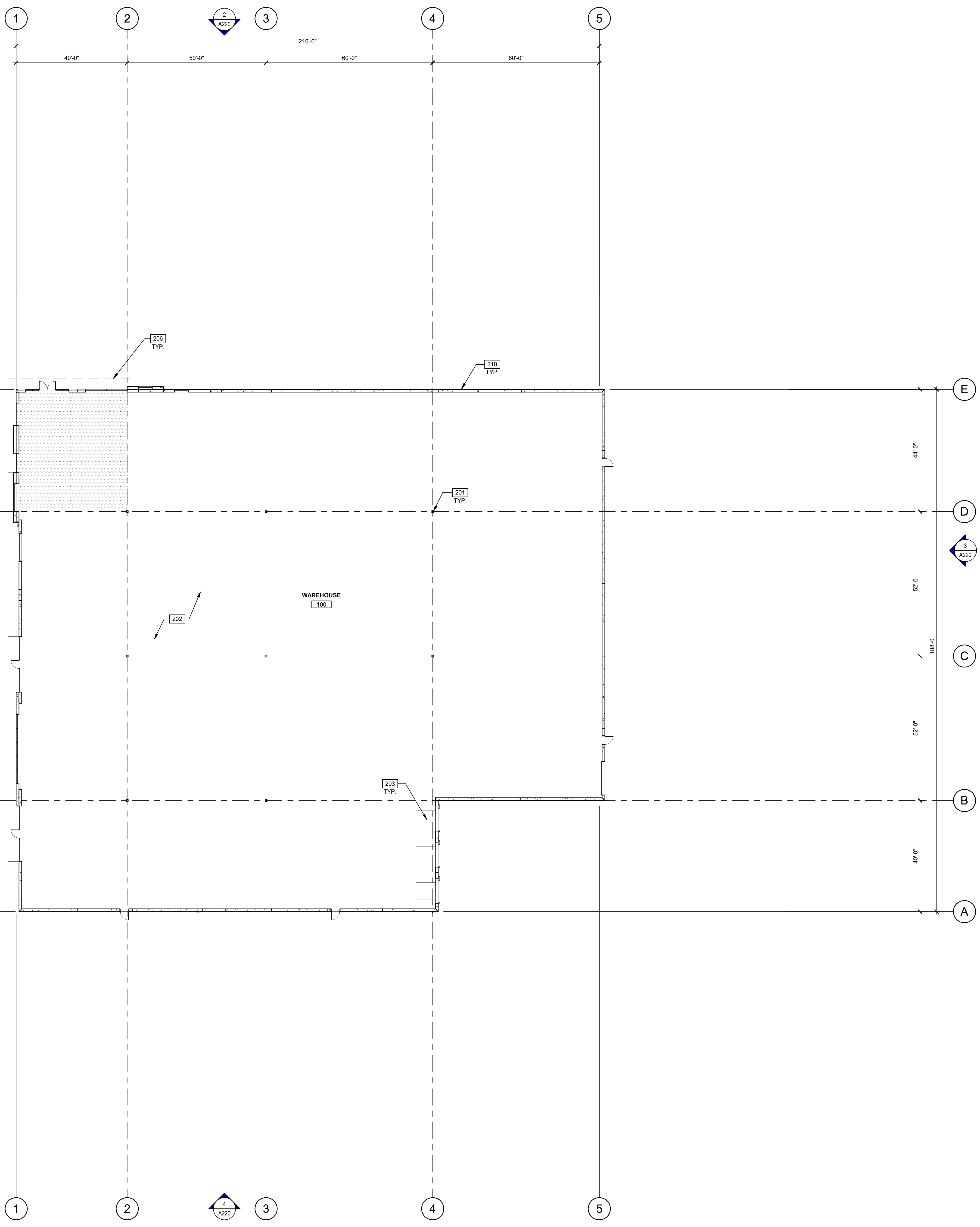
IDS
 REAL ESTATE GROUP

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 VALLEY BOULEVARD & LEMON AVENUE
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BUILDING 1 - EXTERIOR ELEVATIONS	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

PAPM:	C. OBNIAL
DRAWN BY:	C.G. / C.B.
JOB NO.:	IRV21-0183-00

SHEET
A120



- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
 - 203 DOCK PIT.
 - 206 OUTLINE OF CANOPY ABOVE.
 - 210 PRIMARY AND SECONDARY ROOF DRAIN LEADERS. TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.

- WALL LEGEND**
- CONCRETE WALL
 - EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL

- LEGEND**
- PROPOSED FUTURE OFFICE AREA

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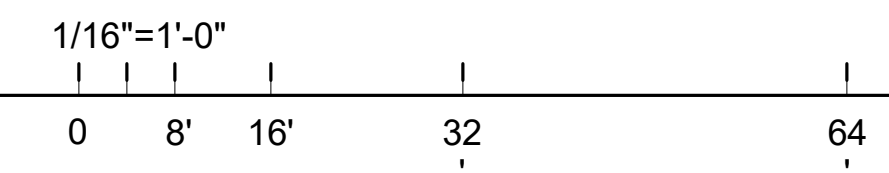


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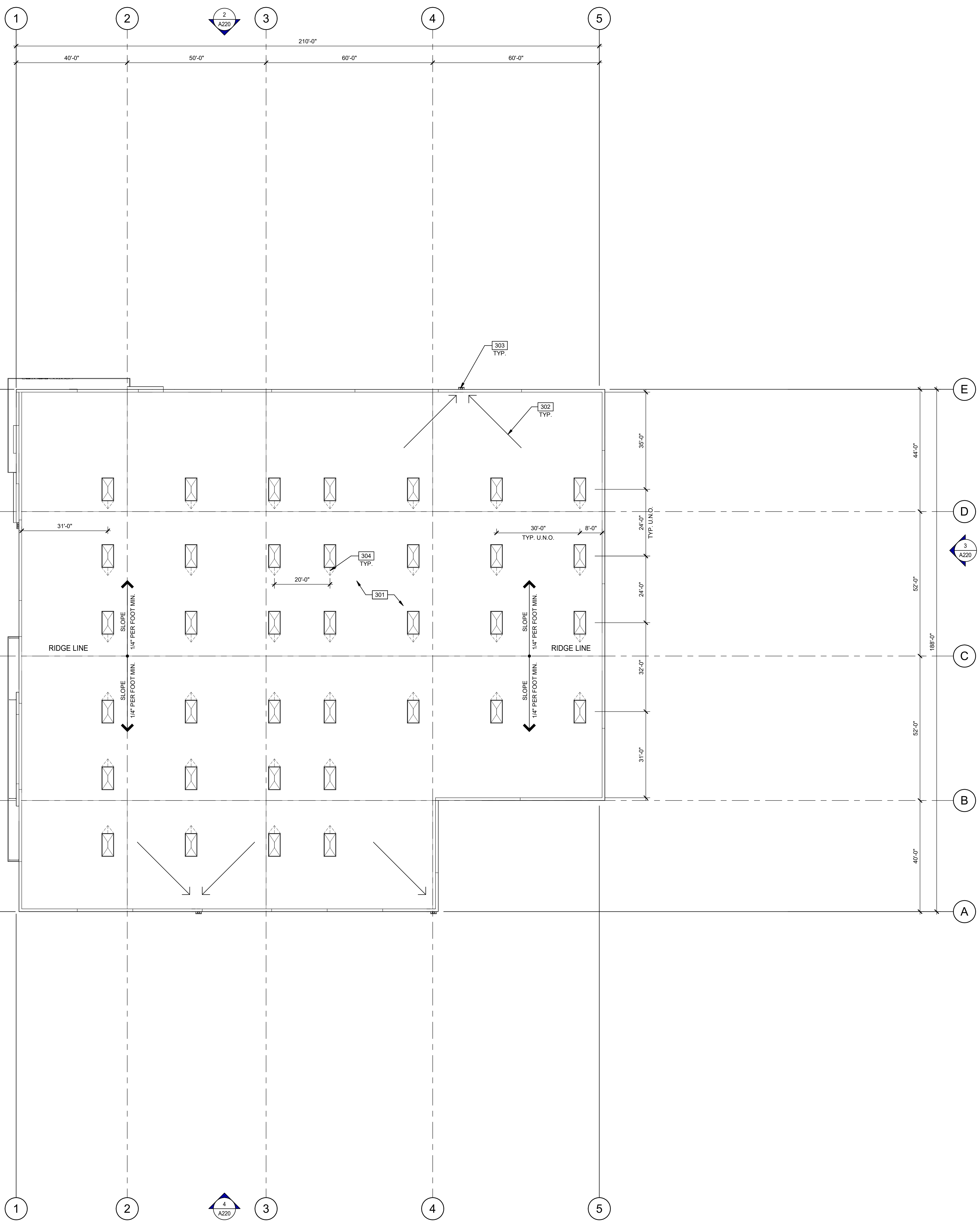
BUILDING 2 - FLOOR PLAN	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

PA/PM: C. OBNIAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A210



BUILDING 2 - FLOOR PLAN
 SCALE: 1/16" = 1'-0"



KEYNOTES:

- 301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
- 302 FLOW LINE TO DRAIN.
- 303 PRIMARY AND SECONDARY.
- 304 CRICKET.

ROOF SKYLIGHT LEGENDS:

SKYLIGHTS:
 SKYLIGHT: (2.5%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

SKYLIGHT SIZE: 48"x96"=32 S.F.
 (WAREHOUSE AREA S.F.) x 2.5% = 40,491 x .025
 (SKYLIGHT SIZE) = 32

DESIRED: 32 SKYLIGHTS
 PROVIDED: 36 SKYLIGHTS

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 BUILDING MEASUREMENT
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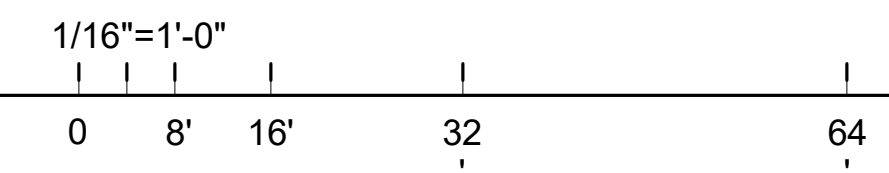
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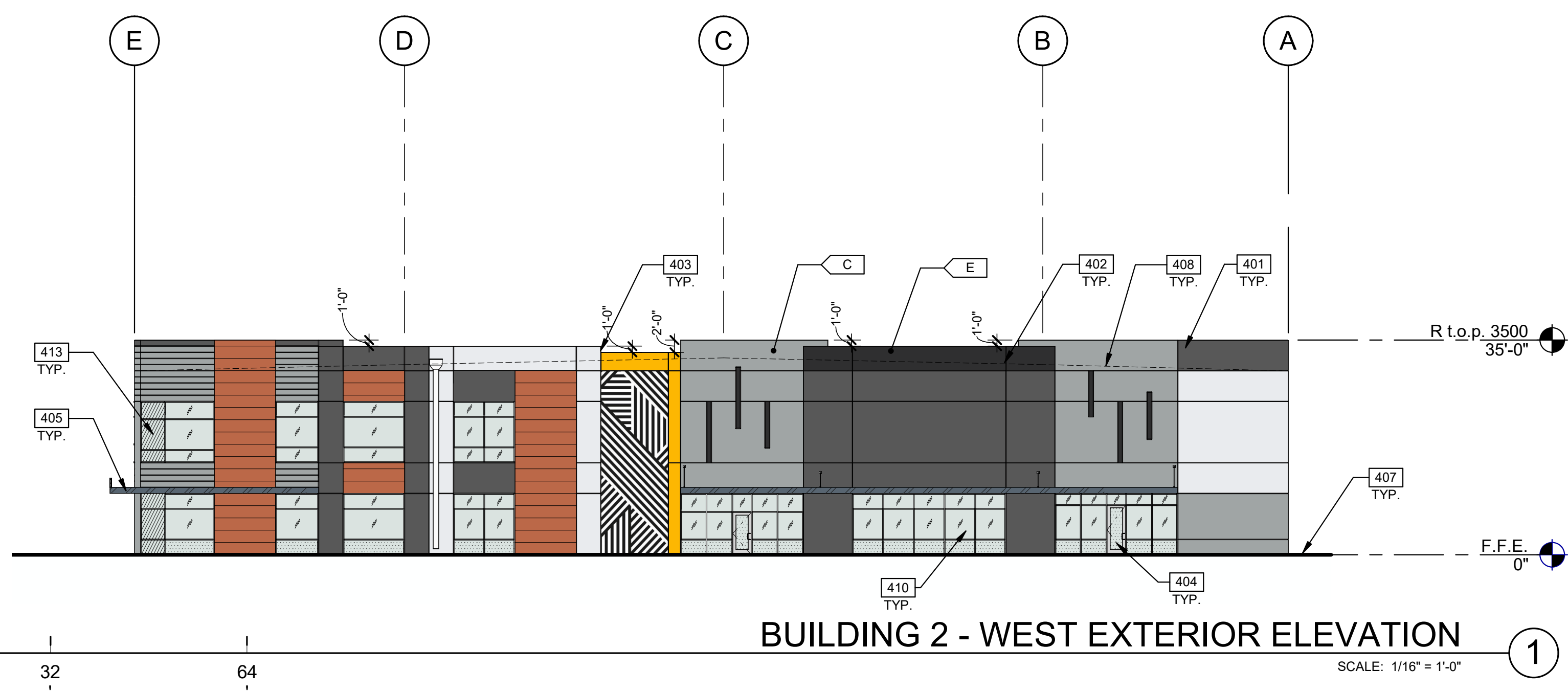
BUILDING 2 - ROOF PLAN	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

PA/PM:	C. OBNIAL
DRAWN BY:	C.G. / C.B.
JOB NO.:	IRV21-0183-00

SHEET
A211

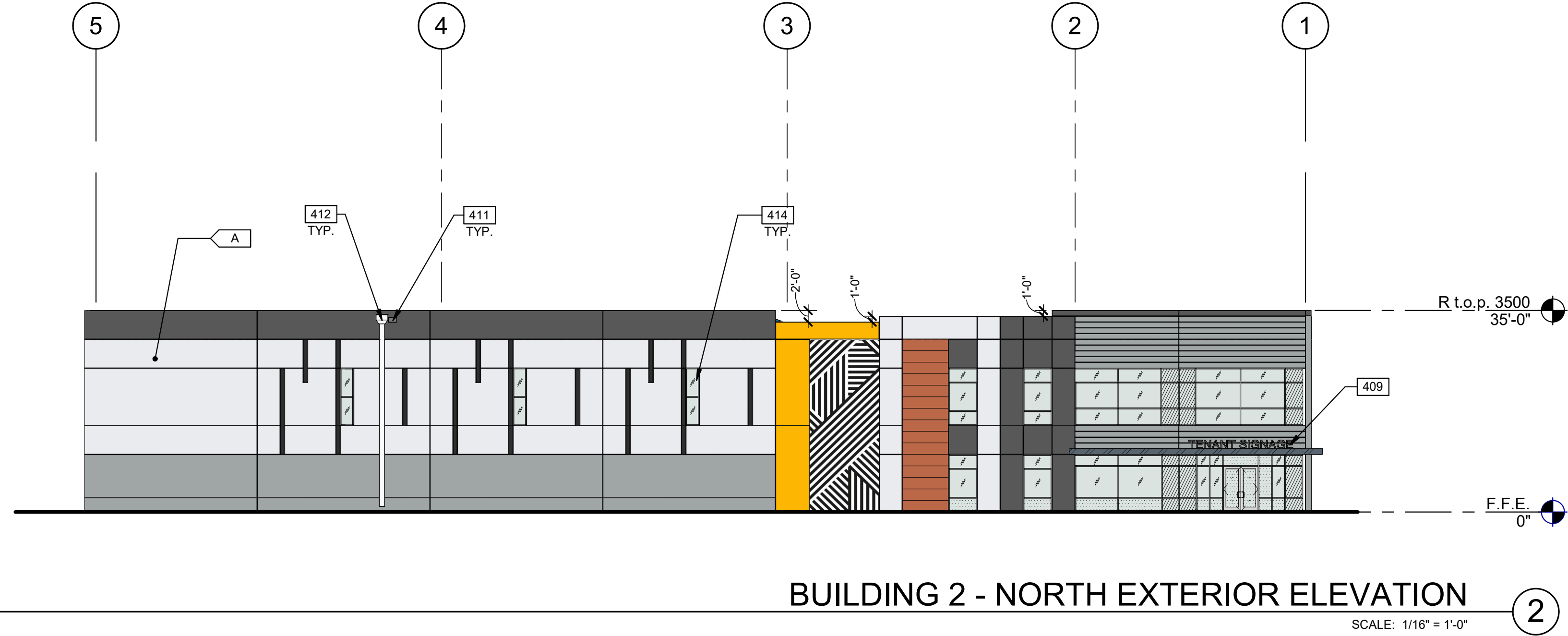


BUILDING 2 - ROOF PLAN
 SCALE: 1/16" = 1'-0"



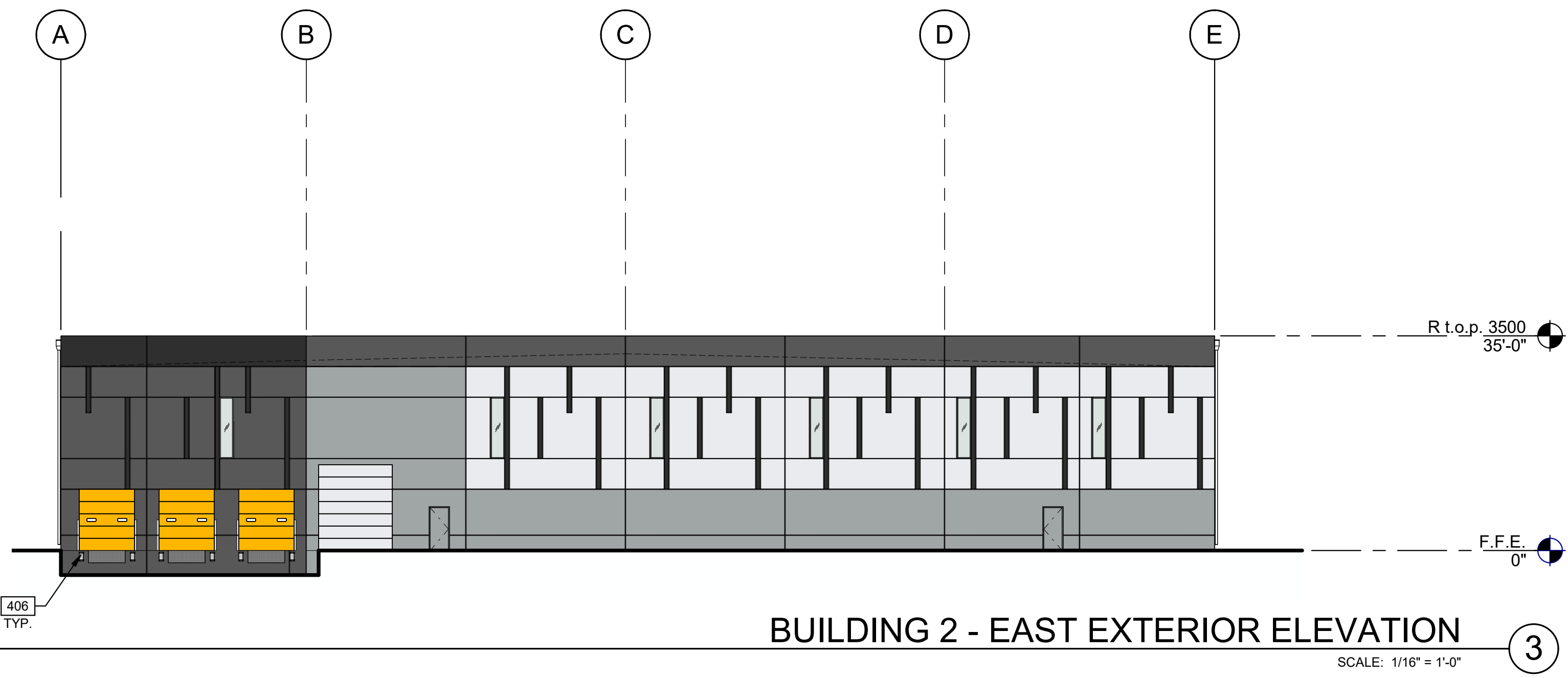
- KEYNOTES:**
- 401 CONCRETE WALL, PAINTED.
 - 402 3/4" V-REVEAL.
 - 403 CONCRETE WALL JOINT.
 - 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
 - 405 METAL CANOPY, PAINTED.
 - 406 DOCK BUMPER.
 - 407 FINISH GRADE VARIES.
 - 408 LINE OF ROOF BEYOND.
 - 409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
 - 410 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLASS.
 - 411 PRIMARY AND SECONDARY SCUPPERS.
 - 412 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
 - 413 ALUMINUM WINDOW SYSTEM OVER RECESSED CONCRETE PANEL.
 - 414 CLERESTORY WINDOW.

1/16"=1'-0"
0 8' 16' 32' 64'
SCALE: 1/16" = 1'-0" **BUILDING 2 - WEST EXTERIOR ELEVATION** ①



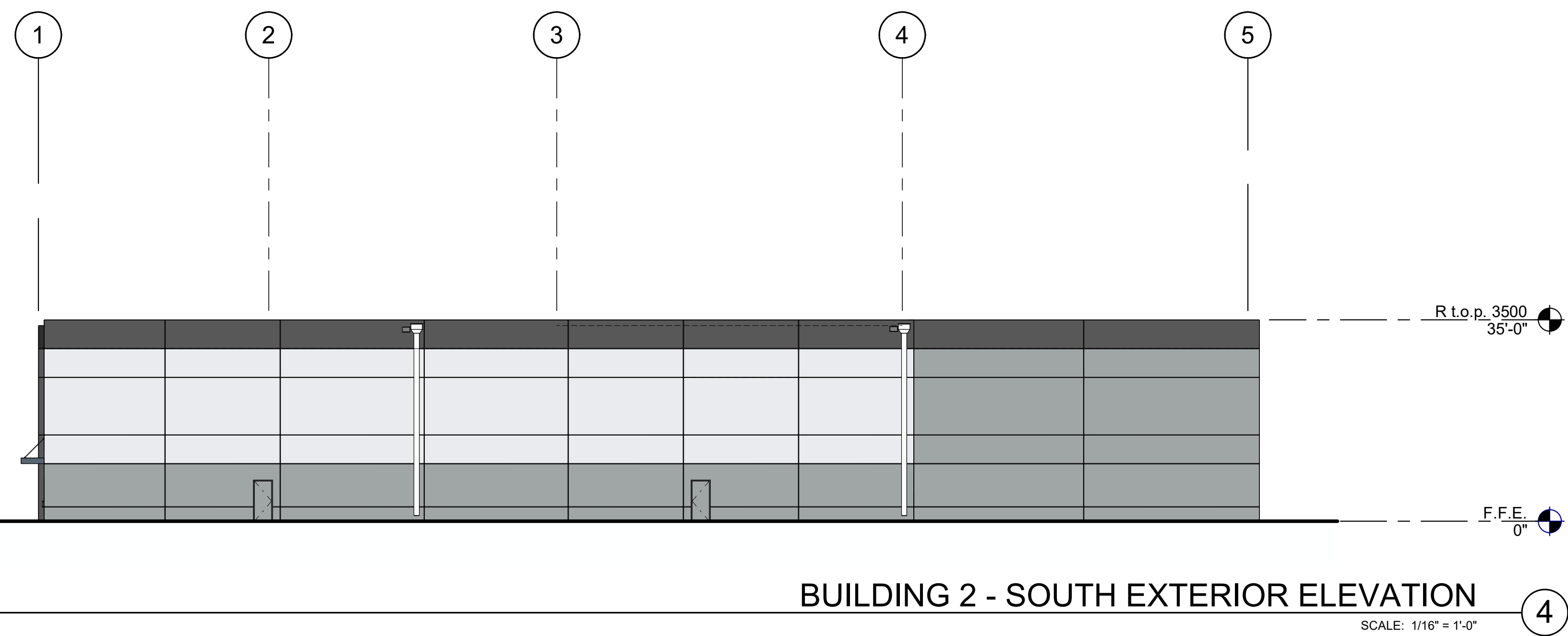
- LEGEND**
- MATERIALS:**
- METAL CANOPY, PAINTED
 - CORRUGATED METAL PANEL
 - ALUMINUM FAUX WOOD - KNOTWOOD OR EQUIVALENT
 - PAINTED MURAL
- GLASS:**
- VISION GLASS
 - TEMPERED GLASS
 - SPANDREL GLASS

SCALE: 1/16" = 1'-0" **BUILDING 2 - NORTH EXTERIOR ELEVATION** ②



- COLORS:**
- PROVIDE 6"-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A BASE COLOR: SW 7138 - LAVENDER WISP
 - B SECONDARY COLOR: SW 7674 - PEPPERCORN
 - C ACCENT COLOR: SW 9558 - CASTLEGATE
 - D ACCENT COLOR: SW 6905 - GOLDFINCH
 - E ACCENT COLOR: SW 6528 - TRICORN BLACK
 - F ACCENT COLOR: SW 7069 - IRON ORE

SCALE: 1/16" = 1'-0" **BUILDING 2 - EAST EXTERIOR ELEVATION** ③



SCALE: 1/16" = 1'-0" **BUILDING 2 - SOUTH EXTERIOR ELEVATION** ④

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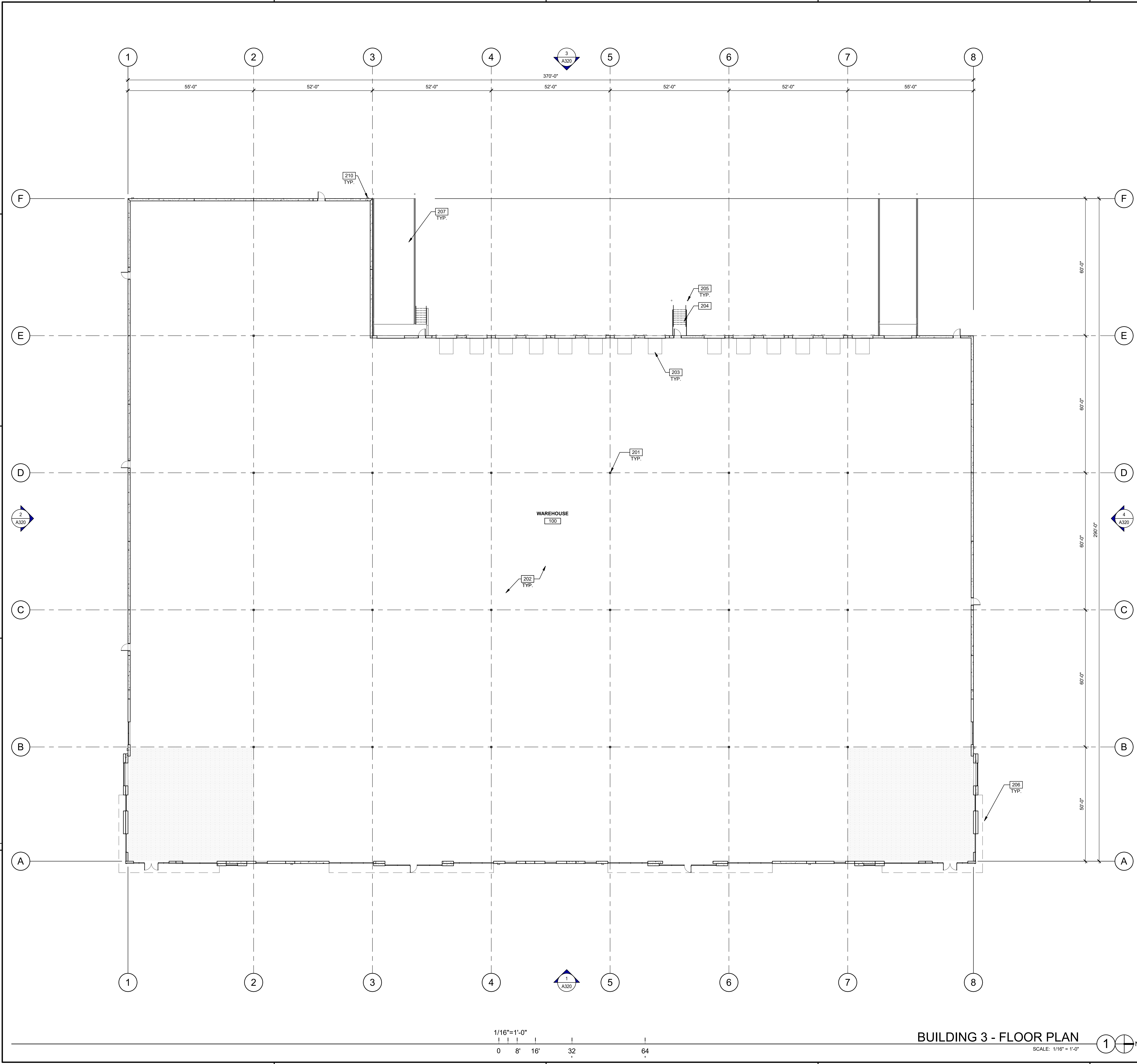


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WALNUT, CALIFORNIA 91789

BUILDING 2 - EXTERIOR ELEVATIONS	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

PA/PM: C. OBNIAL
DRAWN BY: C.G. / C.B.
JOB NO.: IRV21-0183-00

SHEET
A220



- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
 - 203 DOCK PIT.
 - 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
 - 205 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 206 OUTLINE OF CANOPY ABOVE.
 - 207 CONCRETE RAMP.
 - 210 PRIMARY AND SECONDARY ROOF DRAIN LEADERS. TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.

- WALL LEGEND**
- CONCRETE WALL
 - EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL

- LEGEND**
- PROPOSED FUTURE OFFICE AREA

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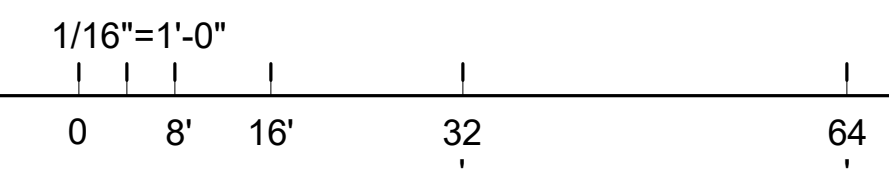


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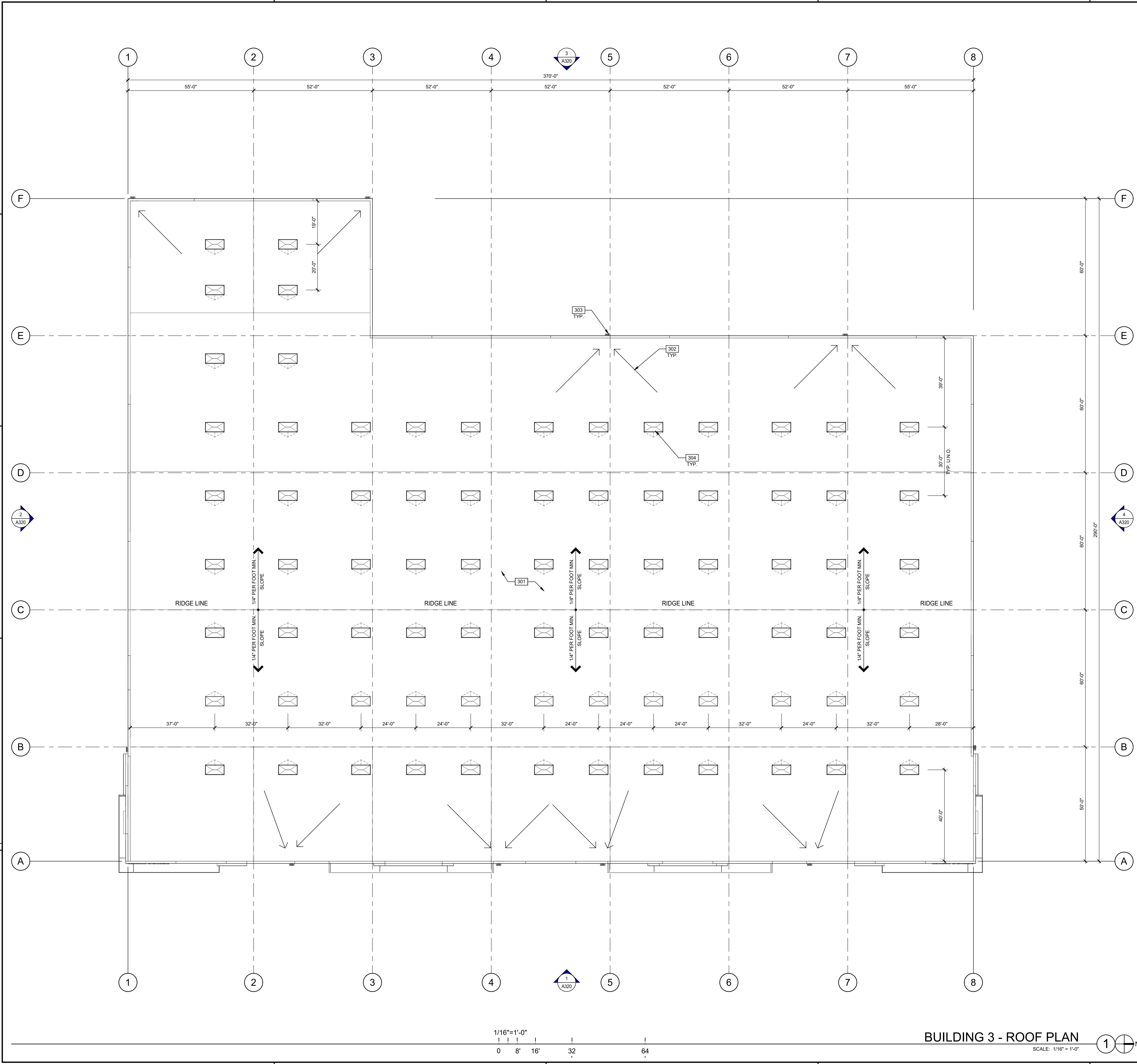
BUILDING 3 - FLOOR PLAN	
DATE	REMARKS
2023-08-09	ENTITLEMENT SUBMITTAL
1	

P/APP: C. OBIAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A310



BUILDING 3 - FLOOR PLAN
 SCALE: 1/16" = 1'-0"



- KEYNOTES:**
- 301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
 - 302 FLOW LINE TO DRAIN.
 - 303 PRIMARY AND SECONDARY.
 - 304 CRICKET.

ROOF SKYLIGHT LEGENDS:

SKYLIGHT: (2.5%)
 COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.

SKYLIGHTS:
 SKYLIGHT SIZE: 48"x96"=32 S.F.
 (WAREHOUSE AREA S.F.) x 2.5% = $\frac{98,034 \times 0.025}{32}$
 (SKYLIGHT SIZE)

DESIRED: 77 SKYLIGHTS
 PROVIDED: 78 SKYLIGHTS

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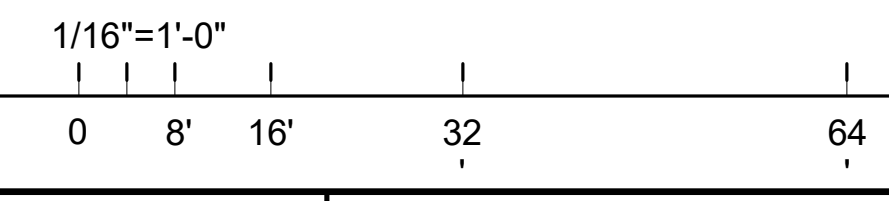
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BUILDING 3 - ROOF PLAN	
DATE	REMARKS
2023-08-09 <td>ENTITLEMENT SUBMITTAL</td>	ENTITLEMENT SUBMITTAL
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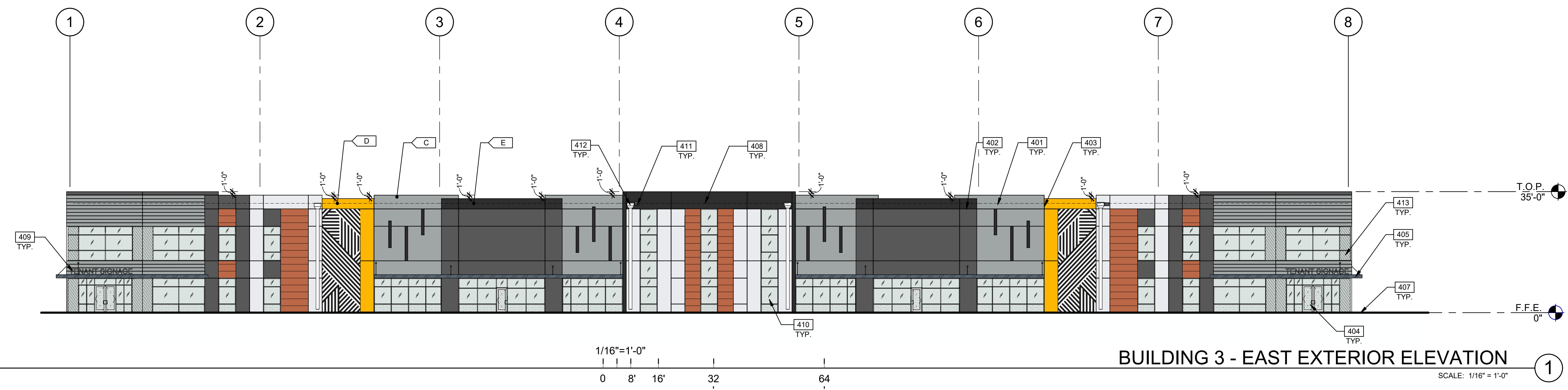
P/APP: C. OBNAL
 DRAWN BY: C.G. / C.B.
 JOB NO.: IRV21-0183-00

SHEET
A311



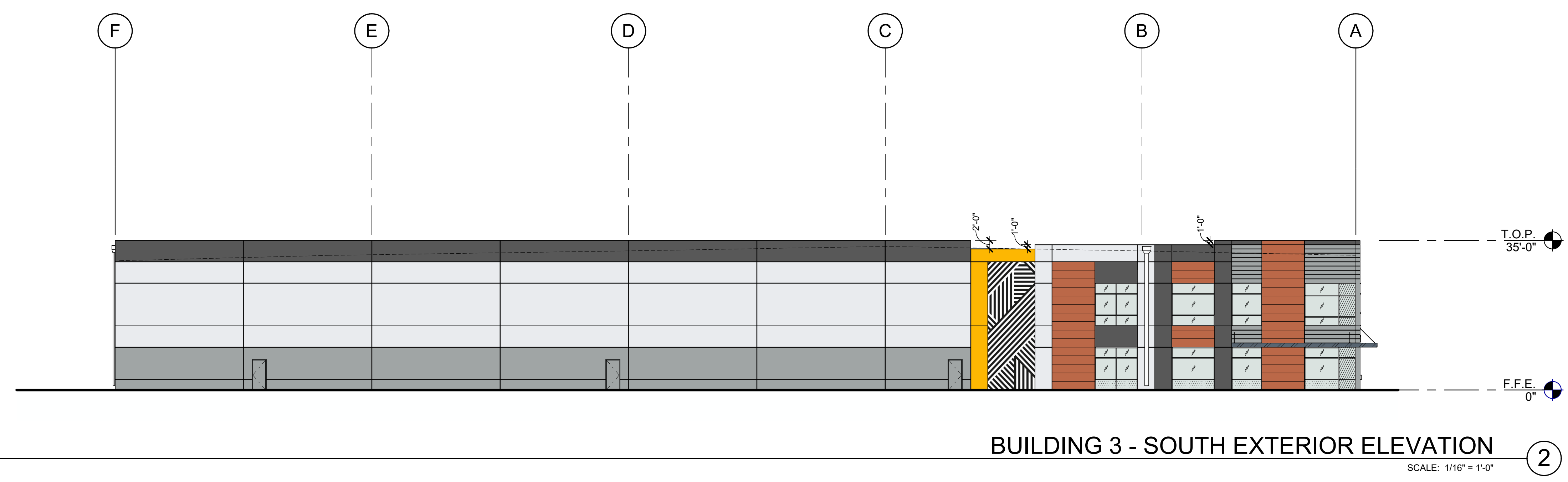
BUILDING 3 - ROOF PLAN
 SCALE: 1/16" = 1'-0"

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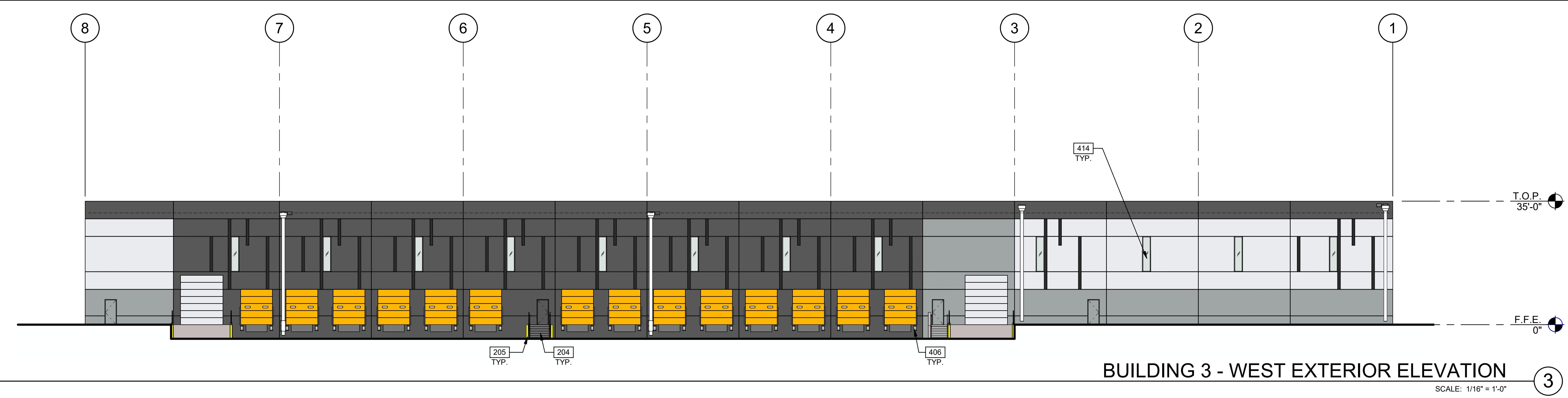
BUILDING 3 - EAST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" 1



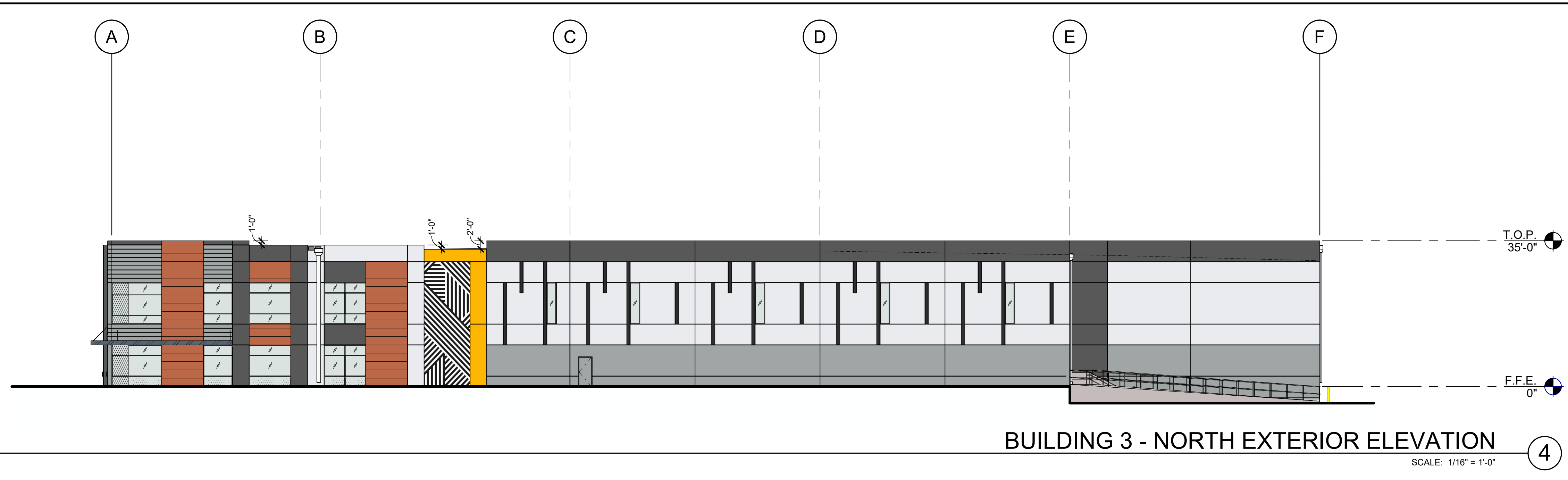
BUILDING 3 - SOUTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" 2



BUILDING 3 - WEST EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" 3



BUILDING 3 - NORTH EXTERIOR ELEVATION

SCALE: 1/16" = 1'-0" 4

KEYNOTES:

- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 401 CONCRETE WALL, PAINTED.
- 402 3/4" V-REVEAL
- 403 CONCRETE WALL JOINT.
- 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 405 METAL CANOPY, PAINTED.
- 406 DOCK BUMPER.
- 407 FINISH GRADE VARIES.
- 408 LINE OF ROOF BEYOND.
- 409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 410 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLASS.
- 411 PRIMARY AND SECONDARY SCUPPERS.
- 412 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
- 413 ALUMINUM WINDOW SYSTEM OVER RECESSED CONCRETE PANEL.
- 414 CLERESTORY WINDOW.

LEGEND

- MATERIALS:**
- METAL CANOPY, PAINTED
 - CORRUGATED METAL PANEL
 - ALUMINUM FAUX WOOD - KNOTWOOD OR EQUIVALENT
 - PAINTED MURAL
- GLASS:**
- VISION GLASS
 - TEMPERED GLASS
 - SPANDREL GLASS

COLORS:

- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOR: SW 7138 - LAVENDER WISP
 - SECONDARY COLOR: SW 7674 - PEPPERCORN
 - ACCENT COLOR: SW 9556 - CASTLEGATE
 - ACCENT COLOR: SW 6905 - GOLDFINCH
 - ACCENT COLOR: SW 6528 - TRICORN BLACK
 - ACCENT COLOR: SW 7069 - IRON ORE

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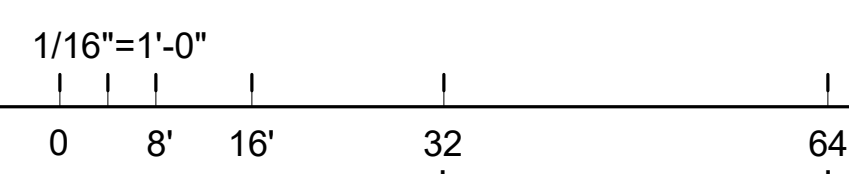
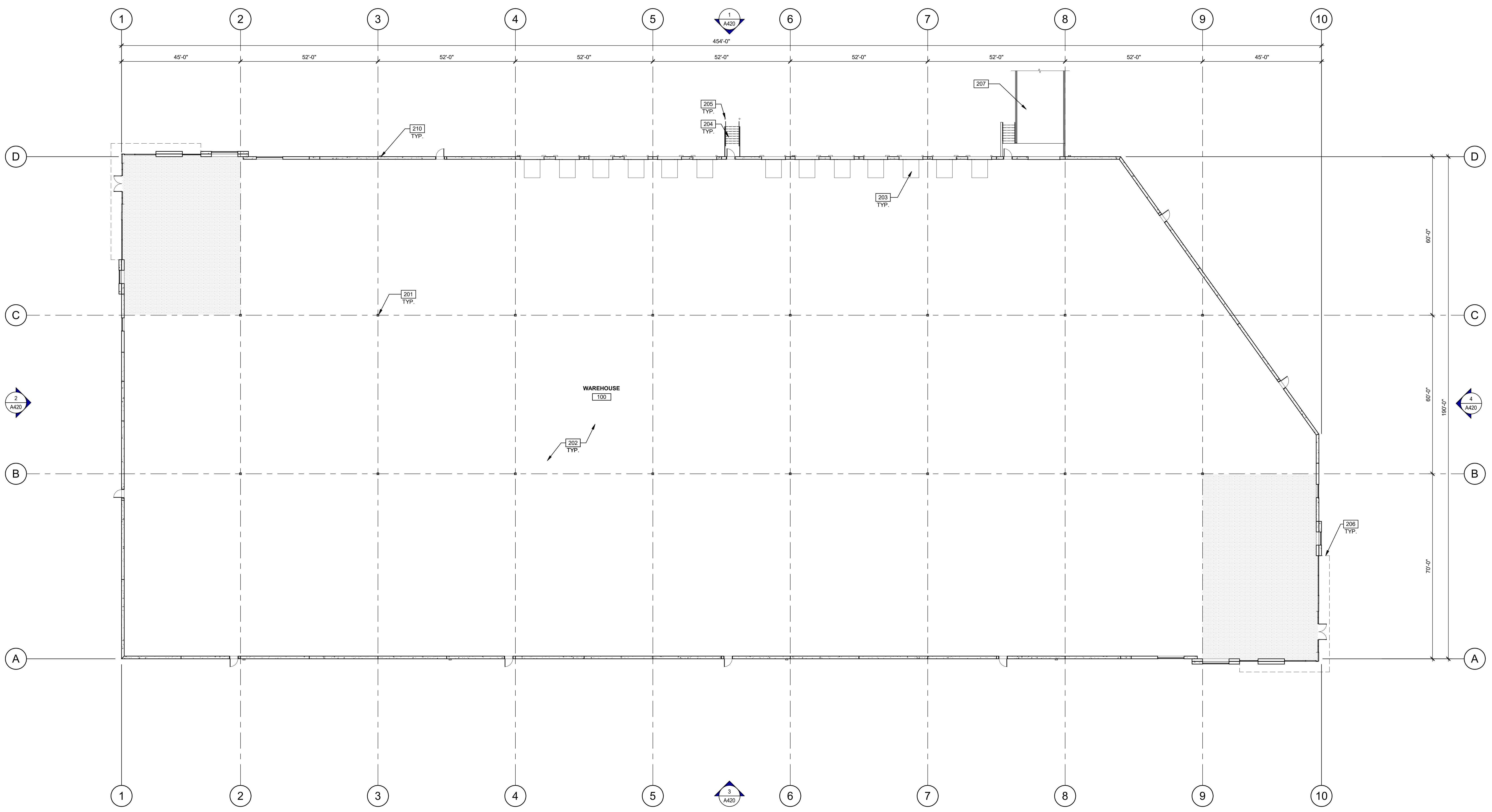
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BUILDING 3 - EXTERIOR ELEVATIONS	
DATE	REMARKS
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PA/PM:	C. OBNIAL
DRAWN BY:	C.G. / C.B.
JOB NO.:	IRV21-0183-00

SHEET
A320



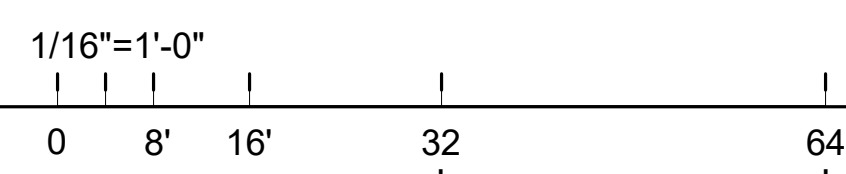
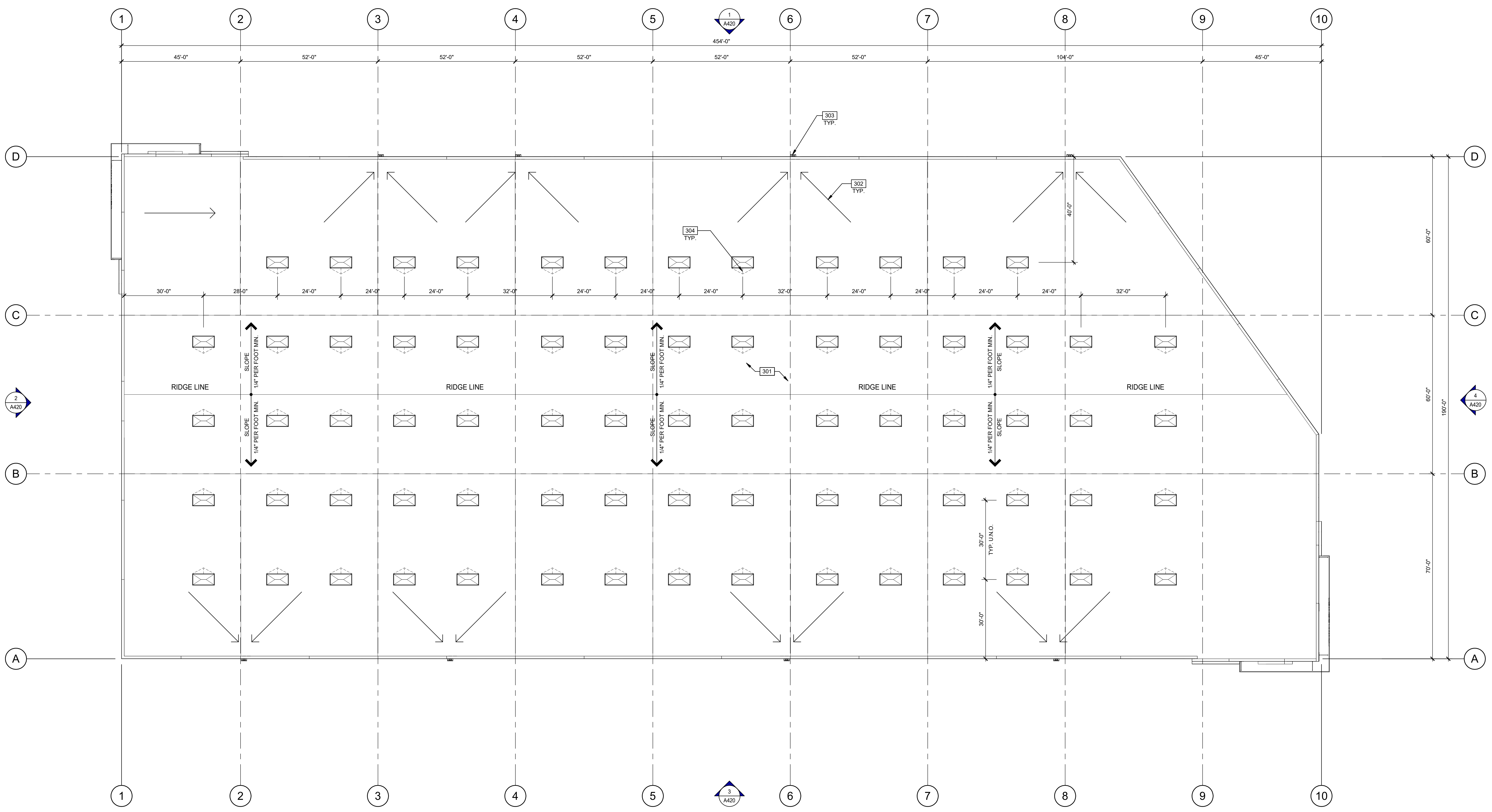
BUILDING 4 - FLOOR PLAN
 SCALE: 1/16" = 1'-0" 1

- WALL LEGEND**
- CONCRETE WALL
 - EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
- LEGEND**
- PROPOSED FUTURE OFFICE AREA

- KEYNOTES:**
- 201 STRUCTURAL STEEL COLUMN.
 - 202 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT. PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
 - 203 DOCK PIT.
 - 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
 - 205 STEEL BOLLARD. CONCRETE-FILLED PAINTED SAFETY YELLOW.
 - 206 OUTLINE OF CANOPY ABOVE.
 - 207 CONCRETE RAMP.
 - 210 PRIMARY AND SECONDARY ROOF DRAIN LEADERS. TRANSITION DIAGONALLY ATTACH TO WALL WITH UNI-STRUTS.

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BUILDING 4 - ROOF PLAN
 SCALE: 1/16" = 1'-0" 1

ROOF SKYLIGHT LEGENDS:

- SKYLIGHT (2.5%)
COORDINATE EXACT LOCATION TO PREVENT CONFLICT WITH FRAMING, FIRE SPRINKLER LINES, ELECTRICAL CONDUITS AND LIGHTING. SEE STRUCTURAL DRAWINGS.
- SKYLIGHTS:**
SKYLIGHT SIZE: 48"x96"=32 S.F.
(WAREHOUSE AREA S.F.) x 2.5% = 75,950 x .025 = 32
DESIRED: 60 SKYLIGHTS
PROVIDED: 66 SKYLIGHTS

KEYNOTES:

- 301 SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
- 302 FLOW LINE TO DRAIN.
- 303 PRIMARY AND SECONDARY.
- 304 CRICKET.

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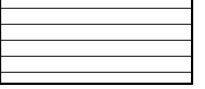
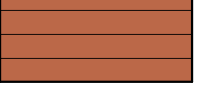

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KEYNOTES:



- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 401 CONCRETE WALL, PAINTED.
- 402 3/4" V-REVEAL.
- 403 CONCRETE WALL JOINT.
- 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS.
- 405 METAL CANOPY, PAINTED.
- 406 DOCK BUMPER.
- 407 FINISH GRADE VARIES.
- 408 LINE OF ROOF BEYOND.
- 409 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 410 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLASS.
- 411 PRIMARY AND SECONDARY SCUPPERS.
- 412 DRAIN LEADER, PAINTED TO MATCH ADJACENT WALL.
- 413 ALUMINUM WINDOW SYSTEM OVER RECESSED CONCRETE PANEL.
- 414 CLERESTORY WINDOW.

LEGEND

MATERIALS:

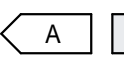
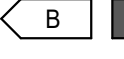
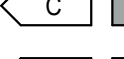
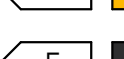


-  METAL CANOPY, PAINTED
-  CORRUGATED METAL PANEL
-  ALUMINUM FAUX WOOD - KNOTWOOD OR EQUIVALENT
-  PAINTED MURAL

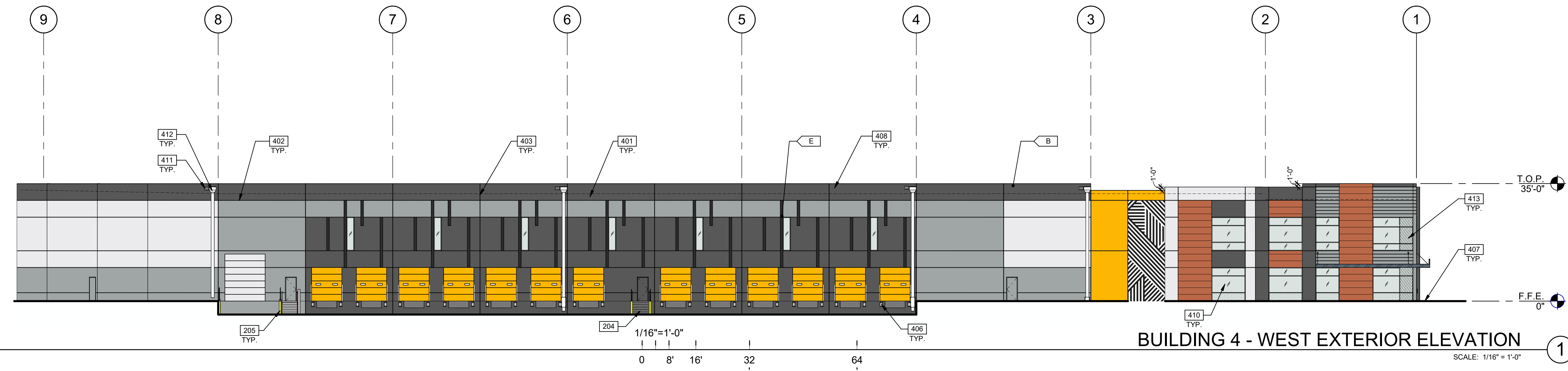
GLASS:

-  VISION GLASS
-  TEMPERED GLASS

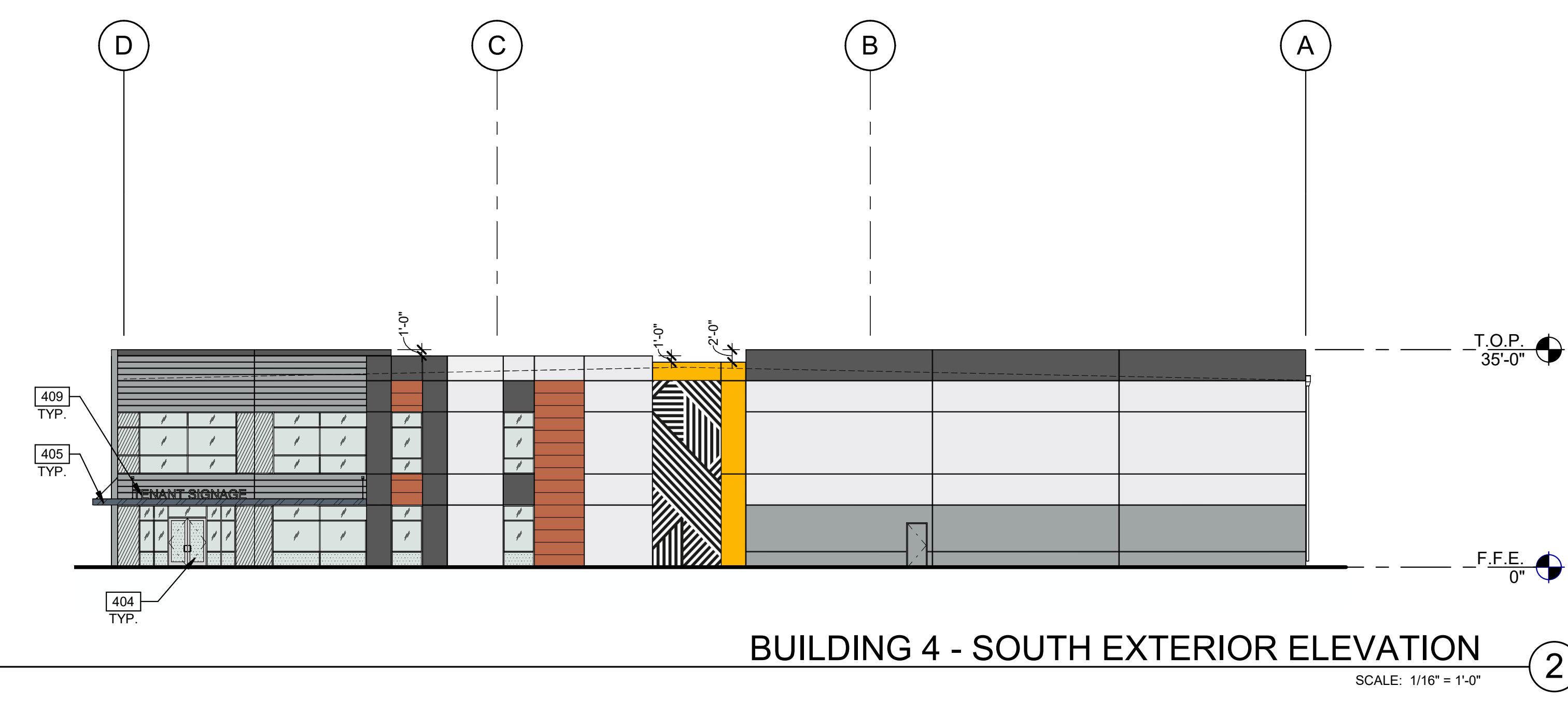
COLORS:

PROVIDE 6" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

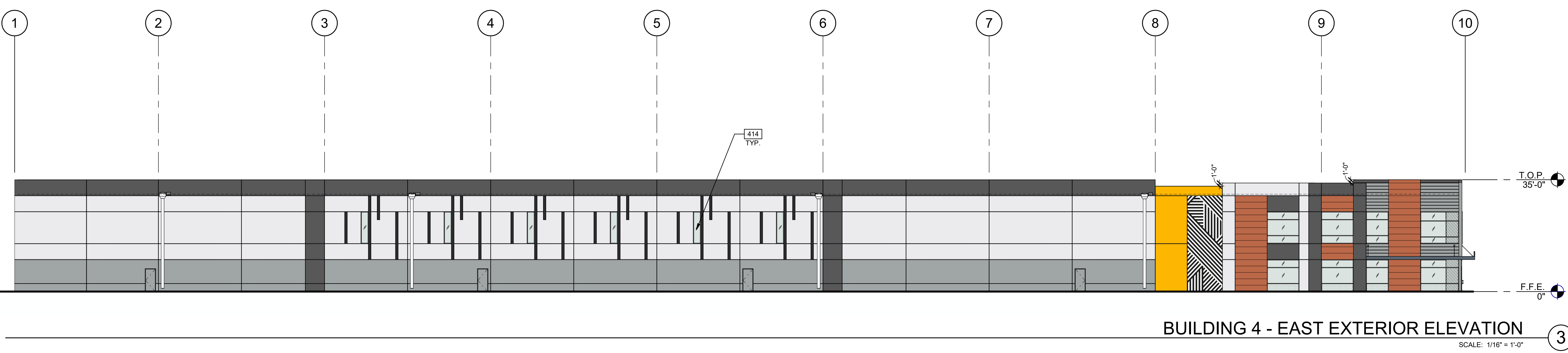
-  A BASE COLOR: SW 7138 - LAVENDER WISP
-  B SECONDARY COLOR: SW 7674 - PEPPERCORN
-  C ACCENT COLOR: SW 9558 - CASTLEGATE
-  D ACCENT COLOR: SW 6905 - GOLDFINCH
-  E ACCENT COLOR: SW 6528 - TRICORN BLACK
-  F ACCENT COLOR: SW 7069 - IRON ORE



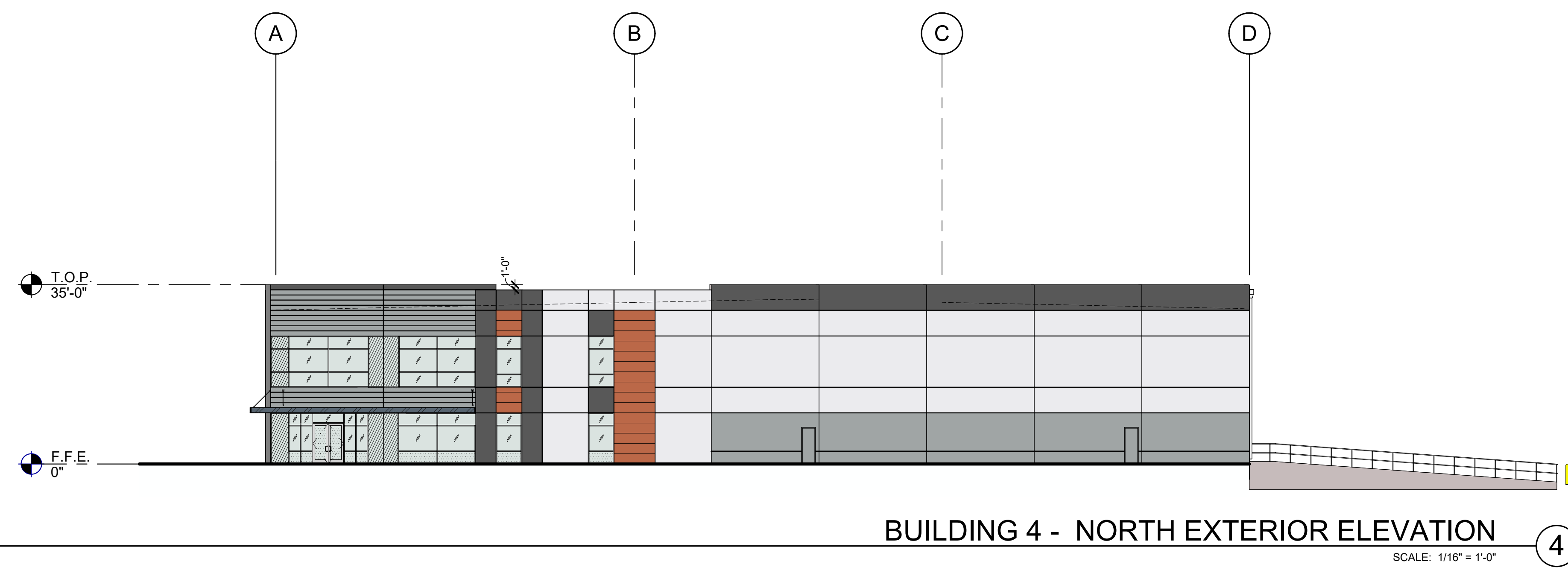
BUILDING 4 - WEST EXTERIOR ELEVATION 1



BUILDING 4 - SOUTH EXTERIOR ELEVATION 2



BUILDING 4 - EAST EXTERIOR ELEVATION 3



BUILDING 4 - NORTH EXTERIOR ELEVATION 4

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BUILDING 4 - EXTERIOR ELEVATIONS	
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